



PLANNING & ZONING BOARD MEETING AGENDA
TUESDAY, SEPTEMBER 23, 2025 - 7:00 PM
736 PARK NORTH BOULEVARD, SUITE 120 ♦ CLARKSTON, GEORGIA 30021
(404) 296-6489 ♦ WWW.CLARKSTONGA.GOV

1. CALL TO ORDER

2. ROLL CALL

3. APPROVAL OF THE AGENDA

4. MEETING MINUTES

A. August 19, 2025 Meeting Minutes

PUBLIC HEARING

Any member of the public may address the Planning and Zoning Board, during the time allotted for public hearing. Each attendee will be allowed 3 minutes. If your public comment contains a series of questions, please provide those questions to staff in writing on the Public Comment Card (Staff) prior to the meeting. This will facilitate follow-up by the Board or Staff. The Planning and Zoning Board desires to allow an opportunity for public comment; however, the business of the Board must proceed in an orderly and timely manner.

5. PRESENTATIONS

6. OLD BUSINESS

7. NEW BUSINESS

A. Clemsil Overlay review and concurrent variance from Sec. 540(a) to not install a 5' sidewalk along a local street at 1212 Patricia Davis Drive (Parcel ID: 18 119 02 004).

B. Text amendment to add Sec. 527(c)(6)(ii) to allow City Council to waive the requirement for a Homeowners Association (HOA), if the proposed Planned Unit Development does not have shared amenities or open space.

C. Review of a Planned Unit Development (PUD) - Planned Residential Development consisting of 13 single-family homes at 905, 911, 917, 929, & 935 Mell Avenue (Parcel ID: 18 097 10 048, 047, 046, 059, & 050).

- D. Text amendment to Sec. 205(b)(1-2) to remove the public hearing requirement for Planning & Zoning Board reviews of zoning applications and establish public meeting notification for the Planning & Zoning Board.
- E. *Text Amendments to the City of Clarkston Code of Ordinances, Chapter 16 – Streets, Sidewalks and Other Public Ways to add Sec. 16-16 to incorporate a fee in lieu of sidewalk construction program.*

8. ADJOURNMENT



STAFF ANALYSIS AND REPORT

APPLICANT: Ben Darmer

LOCATION: 3637 Lincoln Street (1212 Patricia Davis Drive)
(Parcel ID: 18 119 02 004)

ZONING: NR-3: Neighborhood Residential 3 & Clemsil Overlay District

REQUEST: Clemsil Overlay development review for a one-story, single-family home and a concurrent variance from Sec. 540(a) to not install a 5' sidewalk along a local street.

ZONING/ADJACENT LAND USE:

North	NR-3: Single-family Home
South	NR-3: Single-family Vacant
West	NR-3: Single-family Home
East	NR-3: Single-family Vacant

MEETING INFORMATION:

Planning & Zoning Commission:	09/23/2025 – 7:00 P.M
Mayor & City Council Public Hearing:	09/30/2025 – 7:00 P.M.
Mayor & City Council 2 nd Read:	10/07/2025 – 7:00 P.M.

RECOMMENDATION:

Staff recommends APPROVAL of the request to construct a one-story, single-family home with conditions and recommends DENIAL of the request to not install 5' sidewalks along a local street.

BACKGROUND:

The property at 3637 Lincoln Street is currently a vacant parcel within the historic Clemsil Neighborhood. The applicant is proposing a one-story, single-family home on a stucco veneer over concrete block foundation. Pursuant to Section 319(n), the approval process for development within the Clemsil Overlay shall meet the requirements of the public hearing process.

Below are the zoning requirements and the proposed development standards:

	Zoning/Overlay Requirement	Proposed
Front Setback	10'	15.1'
Side Setback	7'	17.9' & 21'
Rear Setback	15'	15.2'
Max. Building Coverage	75%	37.5%
Max. FAR	0.4	0.245
Min. Unit Size	750 sq. ft.	1,847 sq. ft.
Min. Parking	2 spaces	2 spaces

The submitted site plan meets or exceeds these requirements.

The applicant is proposing smooth 6” lap siding, stucco veneer over concrete block foundation, and architectural asphalt shingles. These architectural elements all meet the requirements of the Clemsil Overlay.

The applicant is proposing not to install the 5’ sidewalk along Patricia Davis Drive. The required street trees include 2 red maples and 3 flowering dogwood, which exceeds the required 4 street trees. Further, the proposed development does meet the tree save requirements based on the submitted site plan.

Analysis: Pursuant to Article II of the City of Clarkston Zoning Ordinance, Staff has reviewed the variance request in accordance with the required review criteria.

1. There are extraordinary and exceptional conditions pertaining to the particular property in question because of its size, shape or topography.

There are not any extraordinary nor exceptional conditions to the particular property in question due to its size, shape, or topography. However, if the applicant is required to construct the sidewalk, it would be the only section of sidewalk along Patricia Davis Drive and dead end at each of the side property lines.

2. Such conditions are peculiar to the particular piece of property.

These conditions are not peculiar to this particular piece of property, as all properties along Patricia Davis Dravis and many other properties throughout the city would be subject to the same regulations if the cost of replacement threshold were to be exceeded.

3. Such conditions are not the result of the actions of the owner.

These conditions are not the result of actions by the property owner.

4. A literal interpretation of the provisions of this ordinance would create an unnecessary hardship.

A literal interpretation of the provisions of this ordinance would not create an unnecessary hardship on the property owners.

5. Relief, if granted, would not cause substantial detriment to the public good nor impair the purposes or intent of this zoning ordinance.

It is not anticipated that the proposed use would cause detriment to the public good. However, this request does not fall within the intent of the zoning ordinance.

6. The variance is not a request to permit a structure or use of land not authorized in the applicable district.

This request is not to permit a structure or use of land not authorized in the applicable zoning district.

Recommendation:

Pursuant to Article II of the City of Clarkston Zoning Ordinance, Staff has reviewed the request in accordance with the required review criteria and recommends **APPROVAL** of the Clemsil Overlay District review with the following conditions:

1. The site shall be developed substantially in conformance with the site plan dated, revised 07/30/25.
2. The architectural elevations shall be substantially similar to the elevations dated 05/21/25.

Staff recommends **DENIAL** of the request from Sec. 540(a) to not install a 5' sidewalk along a local street.

This page must be completed by the Applicant. Please see Applicant Instructions for full requirements.

SUBMITTAL CHECKLIST

Your application must include the following items, or it will not be considered complete:

- Completed Application Requirements Checklist
 - Owner Permission Affidavit(s)
 - Pre-application meeting form signed by Planning Director
 - Plan(s) to scale demonstrating variance requested
 - Survey
 - Property Deed
 - Legal description of the property • *see Deed*
 - Campaign Contribution Disclosure Form
 - Filing Fee (payable to The City of Clarkston)
 - Letter of Intent
- For a Zoning Variance, provide a project description and justification of how the project complies with the Review and Approval Criteria in Section 308. Each of the following Criteria for a zoning variance or sign variance must be addressed by the applicant:
1. There are extraordinary and exceptional conditions pertaining to the particular property in question because of its size, shape or topography.
 2. The application of this ZO to the particular piece of property would create an unnecessary hardship.
 3. Such conditions are peculiar to the particular piece of property involved.
 4. Such conditions are not the result of any actions of the property owner.
 5. Relief, if granted, would not cause substantial detriment to the public good nor impair the purposes or intent of this zoning ordinance.
 6. The variance is not a request to permit a structure or use of land not authorized in the applicable district.

APPLICANT INFORMATION

Ben R. Darmer

Applicant Name Ben R. Darmer Company _____
(404) 695-0690

Primary Phone # _____ Alternate Phone # _____ Fax # _____
bdarmer@bellsouth.net

Email Address _____

PROJECT SUMMARY

3637 Lincoln Street, Clarkston, GA

Name of Project _____

Detailed Description of Variance. Include: Variance needed (code section, square footage or other dimension); Proposed use(s) and square footage of floor area for each use; and written explanation of hardship involved with need for variance (see checklist).

Delete requirement for a sidewalk in response to the neighborhood request.

Total Number of Parcels Involved:	<u>1</u>	Total Project Area (acre/sf):	<u>7546 sf</u>	Total Disturbed Area:	<u>7000 sf</u>
Total Number of Buildings:	<u>1</u>	Total Estimated Construction Cost:	<u>\$230,000</u>		

Project Submittal Checklist and all documents, plans, written analysis, and fees required therein accompany this application form.

I hereby certify that all information provided herein and in the accompanying documents is true and correct.

Ben R. Darmer 08/11/25
Applicant Signature Date

Property Owner Owner's Agent

FOR OFFICE USE/DETERMINATION

Review determination and fee: Review fee (payable to *The City of Clarkston*) depends on type of review(s). (See Fee Schedule):

_____ Variance _____ (Fee)
Please indicate if this is an Administrative Variance

PROPERTY INFORMATION/OWNER AUTHORIZATION

If more than one parcel is the subject of review, owner-applicant shall complete information for each parcel on additional page attachments; authorized agent-applicants must complete this page for EACH parcel.

PARCEL (PROPERTY) INFORMATION

3637 Lincoln Street, Clarkston, GA 30021

Property Address/Location 18 119 02 004	Suite/Apt. #	City, State 0.173 acres	Zip Code
Parcel ID/Property Tax Identification Number Vacant		Total Acreage NR-3 Clemsil Overlay	
Present Use(s) Single Family Residence		Present Zoning (Official Zoning Map)	
Proposed Use(s)			

Indicate here if there are more than one subject parcels (attach information accordingly)

Legal description includes: Or: Indicate here that an exhibit identifying property location is attached.

Subdivision Name	Lot #	Block #
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PROPERTY OWNER


Penny Dominguez	J & E Efficiency Homes, LLC		
Owner (Person, Firm, Corporation, or Agency) 1485 S. Indian Creek Drive Stone Mountain, GA 30083	Company Name		
Mailing Address (678) 608-9130	Suite/Apt. #	City, State dominguezpenny@gmail.com	Zip Code
Primary Phone #	Fax #	Email Address	

PROPERTY OWNER'S AGENT (If applicable; must match applicant contact information on page #1)


Ben R. Darmer

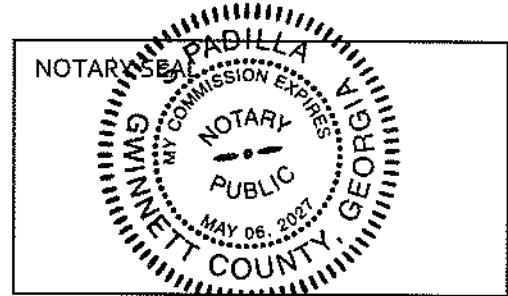
Name and Company (Owner's Agent or Attorney) 1877 Ardmore Road NW Atlanta, GA 30309			
Mailing Address (404) 695-0690	Suite/Apt. #	City, State bdarmer@bellsouth.net	Zip Code
Primary Phone #	Fax #	Email Address #	

AUTHORIZATION FOR AGENT (If applicable)

Owner Signature:  Date: 8/12/25

Print Name: Penny Dominguez J & E Efficiency Homes, LLC

Subscribed and sworn before me this 12th day of August, 2025.

Signature of Notary Public in the State of Georgia



BURGESS TITLE & ESCROW, LL
2330 PATRICK HENRY PARKWAY, SUITE 350
MCDONOUGH, GEORGIA 3053
PHONE: 404-446-3300

OUR FILE No: 25-1058

J & E EFFICIENCY HOMES, LLC
1485 INDIAN CREEK DR.
STONE MOUNTAIN, GA 30081

PLEASE FIND THE FOLLOWING ENCLOSED:

- RECORDED SECURITY DEED
- RECORDED WARRANTY DEED
- RECORDED QUIT CLAIM DEED
- RECORDED ASSIGNMENT
- OWNER'S TITLE POLICY



POST CLOSING DEPARTMENT

After recording, please return to:
BURGESS TITLE & ESCROW, LLC
2330 Patrick Henry Pkwy.
Ste. #350
McDonough, GA 30253
File #25-1058

PARCEL #18-119-02-004

**COUNTY OF HENRY
STATE OF GEORGIA**

LIMITED WARRANTY DEED

THIS INDENTURE is made this 16th day of **JANUARY, 2025**, by and between **PHILIP A. LOGAN** (hereinafter called "**Grantor**") and **J & E EFFICIENCY HOMES, LLC**, a Georgia limited liability company (hereinafter called "**Grantee**"). The words "**Grantor**" and "**Grantee**" include the neuter, masculine and feminine genders, and the singular and the plural.

W I T N E S S E T H:

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00) in hand paid to Grantor by Grantee at and before the execution, sealing and delivery hereof, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Grantor has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto Grantee, and the successors, legal representatives an assigns of Grantee, all that tract or parcel of land lying and being in **DEKALB** County, Georgia, being more particularly described as follows:

**ATTACHED AS EXHIBIT "A" IS THE
LEGAL DESCRIPTION**

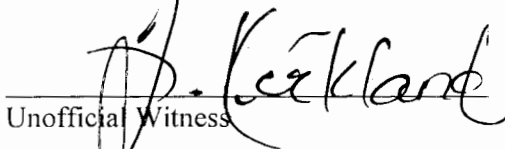
TO HAVE AND TO HOLD said tract or parcel of land, together with any and all of the rights, members and appurtenances thereof to the same being, belonging or in anywise appertaining to the only proper use, benefit and behoof of Grantee forever in fee simple.

THIS CONVEYANCE IS made subject to all easements, covenants and restrictions of record.

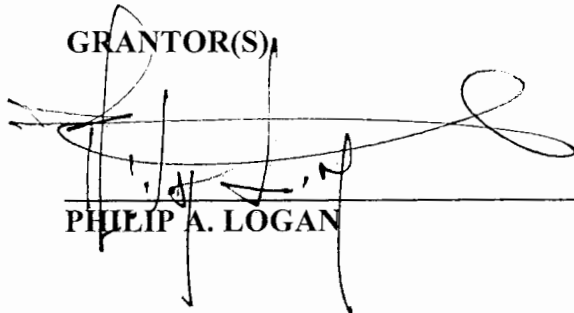
GRANTOR SHALL WARRANT and forever defend the right and title to said tract or parcel of land unto Grantee, and the successors, legal representatives and assigns of Grantee, against the claims of all persons claiming, through or under Grantor.

IN WITNESS WHEREOF, Grantor has caused its duly authorized agent to execute this indenture, and to deliver this indenture to Grantee, all the days and year first written above.

Signed, sealed and delivered in the presence of:


Unofficial Witness

GRANTOR(S)



PHILIP A. LOGAN (SEAL)

Notary Public
Commission Expires: 12.27.2025

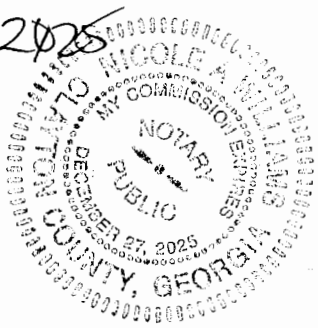


EXHIBIT "A"

All that tract or parcel of land lying and being in Land Lot 119 of the 18th District of Dekalb County, Georgia, being located in the city of Clarkston and being more particularly described as follows:

BEGINNING at the southwesterly right of way of Smith Street with its intersection with the southerly right of way of Lincoln Street and running thence west along the south side of Lincoln Street, a distance of 259.5 feet, more or less; running thence southerly 57.5 feet; running thence easterly, a distance of 259.5 feet, more or less to the southwesterly right of way of Smith Street; running thence north along the said right of way, a distance of 57.5 feet to the point of beginning.

LESS and EXCEPT:

All that tract or parcel of land lying and being in Land Lot 119 of the 18th District of Dekalb County, Georgia, being located in the city of Clarkston and being more particularly described as follows:

BEGINNING at the southwesterly right of way of Smith Street with its intersection with the southerly right of way of Lincoln Street and running thence west along the south side of Lincoln Street, a distance of 127.3 feet, to a point; running thence southerly 57.5 feet; running thence easterly, a distance of 112.9 feet, more or less to the southwesterly right of way of Smith Street; running thence north along the said right of way, a distance of 57.5 feet to the point of beginning.

Being known as 3637 Lincoln Street, Clarkston, Georgia 30021.
Having Tax parcel # 18-119-02-004.

Return Recorded Documents to:
BURGESS TITLE & ESCROW, LLC
2330 PATRICK HENRY PKWY.
STE. #350
MCDONOUGH, GA 30253

PARCEL #15 190 06 014

QUIT-CLAIM DEED

STATE OF GEORGIA
COUNTY OF HENRY

This Indenture made this 10th day of JANUARY in the year Two Thousand Twenty-Five,
between

SAMUEL AGUIRRE

of the County of DEKALB State of GEORGIA, as party or parties of the first part, hereinunder called
Grantor, and

J & E EFFICIENCY HOMES, LLC
a Georgia limited liability company

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to
include their respective heirs, successors and assigns where the context requires or permits)

WITNESSETH that: Grantor, for and in consideration of the sum of **ONE AND 00/100 (\$1.00) Dollar**
and other good and valuable considerations in hand paid at and before the sealing and delivery of these
presents, the receipt whereof is hereby acknowledged, has bargained, sold, and does by these presents
bargain, sell, remise, release and forever QUIT-CLAIM to Grantee all the right, title interest claim or
demand which Grantor has or may have in and to:

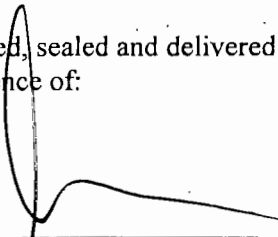
ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 190 OF
THE 15TH DISTRICT, DEKALB COUNTY, GEORGIA, BEING KNOWN AS LOT 87,
BURGESS HILLS SUBDIVISION, AS PER PLAT OF SAME OF RECORD AT PLAT BOOK
21, PAGE 16, DEKALB COUNTY, GEORGIA RECORDS. SAID PLAT IS SPECIFICALLY
INCORPORATED HEREIN BY REFERENCE AND MADE A PART HEREOF FOR A
MORE COMPLETE AND ACCURATE LEGAL DESCRIPTION.

TO HAVE AND TO HOLD the said described premises unto Grantee so that neither Grantor nor any other person or persons claiming under Grantor shall at any time, claim or demand any right, title or interest to the aforesaid described premises or its appurtenances.


IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:


GRANTOR(S):



Unofficial Witness



SAMUEL AGUIRRE (SEAL)



Notary Public
Commission Expires:



Disclosure of Campaign Contributions

Pursuant to OCGA, Section 36-67A-3(a), the following disclosure is mandatory when an applicant or any representative has made campaign contributions aggregating \$250.00 or more to a local government within two (2) years immediately preceding the filing of this application.

It shall be the duty of the applicant and the attorney representing the applicant to file a disclosure with the governing authority of the respective local government. The following questions **must** be answered:

Have you, the applicant, made \$250.00 or more in campaign contributions to a **local** government official within two years immediately preceding the filing of this application?

Yes No

If the answer is **yes**, you must file a disclosure report with the governing authority of City of Clarkston showing:

1. The name and official position of the local governing authority in City of Clarkston to whom the campaign contribution was made.

Name and official position of the applicant/representative (Please Print)

2. The dollar amount and description of each campaign contribution made during the two (2) years immediately preceding the filing of this application and the date of each such contribution was made.

Description of Campaign Contribution
(Please Print)

Dollar Amount

This disclosure must be filed within ten (10) days after the application is first filed and must be submitted to the City of Clarkston, 3921 Church Street, Clarkston, GA 30021.

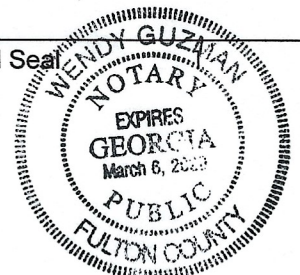
Van R. Damm
Signature (choose one) Applicant Owner

Date 08/14/2025

Wendy Guzman
Notary Signature

08/14/2025

Date and Seal



Disclosure of Campaign Contributions

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Yes No

If the answer is **yes**, you must file a disclosure report with the governing authority of City of Clarkston showing:

1. The name and official position of the local governing authority in City of Clarkston to whom the campaign contribution was made.

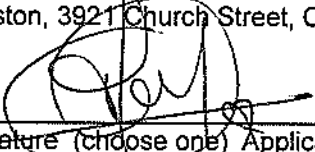

Name and official position of the applicant/representative (Please Print)

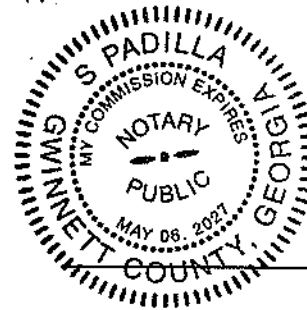
2. The dollar amount and description of each campaign contribution made during the two (2) years immediately preceding the filing of this application and the date of each such contribution was made.

Description of Campaign Contribution
(Please Print)

Dollar Amount

This disclosure must be filed within ten (10) days after the application is first filed and must be submitted to the City of Clarkston, 3921 Church Street, Clarkston, GA 30021.


 Signature (choose one) Applicant Owner

 Notary Signature



Date 8/13/2025

Date and Seal

1

3637 LINCOLN STREET, CLARKSTON, GA 30021

LETTER OF INTENT

1. There are extraordinary and exceptional conditions pertaining to the particular property in question because of its size, shape or topography. ***There are no other sidewalks in the neighborhood. Neighborhood has indicated that they do not want a sidewalk on this site.***
2. The application of this ZO to the particular piece of property would create an unnecessary hardship. ***This is a request of the neighborhood.***
3. Such conditions are peculiar to the particular piece of property involved. ***There are no other sidewalks in the neighborhood.***
4. Such conditions are not the result of any actions of the property owner. ***They are not the result of any action by the property owner.***
5. Relief, if granted, would not cause substantial detriment to the public good nor impair the purposes or intent of this zoning ordinance. ***There are no other sidewalks in the neighborhood.***
6. The variance is not a request to permit a structure or use of land not authorized in the applicable district. ***Sidewalks are not prohibited.***

END

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0078K, DATED 08/15/19

ZONING INFORMATION:

CLASSIFICATION: NR-3 (CLEMSIL OVERLAY)
 SETBACKS: FRONT - 10 FEET
 SIDE - 7 FEET
 REAR - 15 FEET
 MAXIMUM FAR = 0.4
 MAXIMUM LOT COVERAGE = 50%
 MAXIMUM BUILDING HEIGHT = 35 FEET
 MINIMUM LOT SIZE = 5000 sf.
 MINIMUM LOT WIDTH = 50 FEET

LOT AREA: 7546 sf.
 0.173 ACRES
 24 HR CONTACT: SAMUEL AGUIRRE
 JNEHOMESLLC@GMAIL.COM
 (404)771-0523

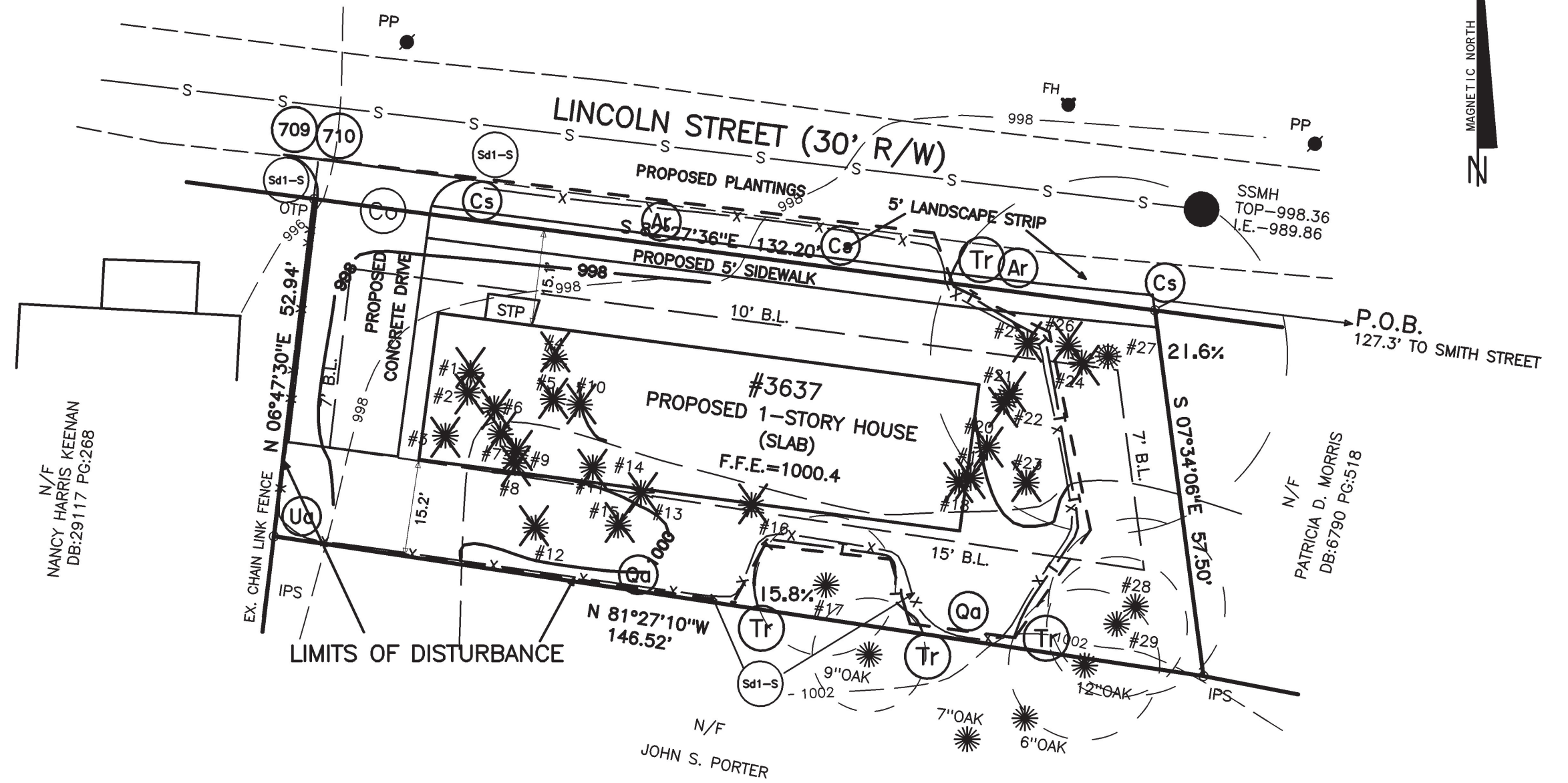
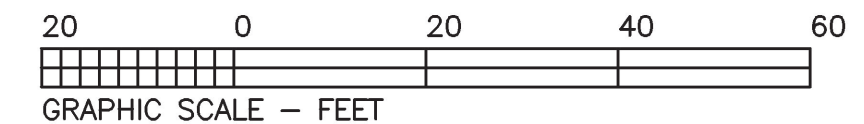
NO GRADED SLOPE SHALL EXCEED 3H:1V
 ON ALL DISTURBED AREAS

Ds1 Ds2 Ds3 Ds4

DISTURBED AREA = 7000 sf.
 0.161 ACRES

PROPOSED FLOOR AREA:

1ST FLOOR HEATED = 1847 sf.
 FAR: 1847/7546 = 0.245



LEGEND

- IPF = 1/2" REBAR FOUND
- IPS = 1/2" REBAR PIN SET
- L.L. = LAND LOT
- L.L.L. = LAND LOT LINE
- P.L. = PROPERTY LINE
- CL = CENTERLINE
- B.L. = BUILDING LINE
- R/W = RIGHT-OF-WAY
- S.S.E. = SANITARY SEWER EASEMENT
- D.E. = DRAINAGE EASEMENT
- MH = MANHOLE
- C.B. = CATCH BASIN
- J.B. = JUNCTION BOX
- HW = HEADWALL
- D.I. = DROP INLET
- PP = POWER/UTILITY POLE
- F.H. = FIRE HYDRANT
- I.E. = INVERT ELEVATION
- F.F.E. = FINISHED FLOOR ELEVATION
- F.F.B. = FINISHED FLOOR BASEMENT
- F.F.G. = FINISHED FLOOR GARAGE
- BOC = BACK OF CURB
- EP = EDGE OF PAVEMENT
- N/F = NOW OR FORMERLY
- P.O.B. = POINT OF BEGINNING
- SS = SANITARY SEWER LINE/PIPE
- X-X-X = FENCE LINE
- O = FLOOD HAZARD ZONE LINE
- W = STORM SEWER LINE/PIPE
- G = WATER LINE
- CM = CONCRETE MONUMENT
- C.E. = CONSTRUCTION EASEMENT
- C&G = CURB AND GUTTER
- LS = LIGHT STANDARD
- OTP = OPEN TOP PIPE FOUND
- CTP = CRIMP TOP PIPE FOUND

PROPOSED LOT COVERAGE:

HOUSE = 1955 sf.
 DRIVEWAY = 656 sf.
 FRONT STOOP = 32 sf.

TOTAL = 2643 sf.
 LOT COVERAGE = 35.0%

TREE INVENTORY - TABLE A

#	TYPE	DBH	CONDITION	TDU
1	OAK	8"	REMOVED	2.4
2	OAK	6"	REMOVED	1.6
3	OAK	10/18"	REMOVED	8.6
4	OAK	12"	REMOVED	3.2
5	OAK	7"	REMOVED	2.4
6	OAK	6"	REMOVED	1.6
7	PINE	17"	REMOVED	4.8
8	PINE	19"	REMOVED	5.4
9	PINE	14"	REMOVED	4.0
10	OAK	12"	REMOVED	3.2
11	OAK	6"	REMOVED	1.6
12	OAK	25"	REMOVED	6.8
13	OAK	10"	REMOVED	3.2
14	OAK	25"	REMOVED	6.8
15	OAK	6"	REMOVED	1.6
16	GUM	28"	REMOVED	8.6
17	OAK	11"	SAVED	3.2
18	OAK	13"	REMOVED	4.0
19	OAK	7"	REMOVED	2.4
20	OAK	10"	REMOVED	3.2
21	OAK	13"	REMOVED	4.0
22	OAK	15"	REMOVED	6.0
23	OAK	15"	REMOVED	4.0
24	OAK	17"	REMOVED	4.8
25	OAK	17"	REMOVED	4.8
26	OAK	20"	REMOVED	5.4
27	OAK	28"	SAVED	8.6
28	OAK	14"	SAVED	4.0
29	OAK	11"	SAVED	3.2

TREE REQUIREMENTS - TABLE B

- 25% OF 29 = 8 TREES REQUIRED
4 SAVED; SEE RECOMPENSE
- 120 x 0.173 = 21" DBH REQUIRED
64" DBH SAVED; REQUIREMENT MET
SURPLUS = 43" DBH
- TWO TREES REQUIRED IN FRONT YARD
1 SAVED; SEE RECOMPENSE

TREE DATE CHART - TABLE C

- SITE DENSITY
0.173 x 30 TDU = 5.2 TDU REQUIRED
EDF = 19.0 TDU
RDF: 5.2 - 19 = -13.8
SURPLUS = 13.8 TDU
- EXISTING TREE DENSITY
EXISTING TREES TO BE REMOVED = 104.4 TDU
EXISTING TREES TO REMAIN = 19.0 TDU
- REPLACEMENT CREDITS
1.5 TDU CREDITS TO BE PLANTED ON SITE
9" DBH TO BE PLANTED ON SITE
- SPECIMEN TREE RECOMPENSE
NO SPECIMEN TREES REMOVED
- TREE BANK/DEFICIT
0" DBH
- FRONTAGE LANDSCAPE STRIP REQUIREMENT:
132.2; FRONTAGE - 20' DRIVE = 112.2 LF
112.2/30 = 3.74 = 4 TREES REQUIRED

TREE PLANT SCHEDULE:

- Qa - 3.5" WHITE OAK (2)
- Ar - 3.5" RED MAPLE (2) - STREET TREES
- Cs - 3.5" FLOWERING DOGWOOD (3) - STREET TREES
- Ua - 3.5" AMERICAN ELM (1)
- Tr - 4' ORANGE TREE SAVE FENCING
- Sd1-S - TYPE "S" SILT-FENCE
- Co - CONSTRUCTION EXIT

NO DRAINAGE EASEMENTS ON PROPERTY
 PROPERTY IN CLEMSIL OVERLAY DISTRICT



EROSION CONTROL NOTES:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH. DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST DAILY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- SILT FENCE SHALL BE "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
- THE DESIGN PROFESSIONAL WHOSE SIGNED AND DATED SEAL APPEARS HEREON, AFFIRMS THAT THE SITE WAS VISITED PRIOR TO THE PREPARATION OF THIS SITE PLAN BY HIMSELF OR HIS AUTHORIZED AGENT UNDER HIS SUPERVISION.

GSWCC GEORGIA SOIL AND WATER CONSERVATION COMMISSION
 ROBERT W. RICHARDSON
 LEVEL II CERTIFIED DESIGN PROFESSIONAL
 CERTIFICATION NUMBER 0000089322
 ISSUED 10/11/2019 EXPIRES 10/11/2025
 07/30/25
 SIGNATURE DATE



ALPHA LAND SERVICES
 P.O. BOX 1651
 LOGANVILLE, GA. 30052
 ENGINEERING * LAND SURVEYING
 OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM
 REVISION: 06/17/25; 07/30/25

PAGE 1 OF 3
 SITE PLAN FOR:
3637 LINCOLN STREET
 TAX PARCEL# 18 119 02 004
 LAND LOT: 119
 DISTRICT: 18TH
 DEKALB COUNTY
 GEORGIA
 FIELD DATE: 01/15/25
 PLAT DATE: 02/28/25
 LOT: BLOCK:
 SUB: AREA = 0.173 ACRES
 JOB No. 2501551

The field data upon which this plat is based has a closure precision of one foot in 15,000 feet and an angular error of 03" seconds per angle point and was adjusted using the Compass Rule. This plat has been calculated for closure and is found to be accurate within one foot in 100,000 feet.

Equipment used: Topcon GTS-213 Total Station.

FLOOD HAZARD STATEMENT

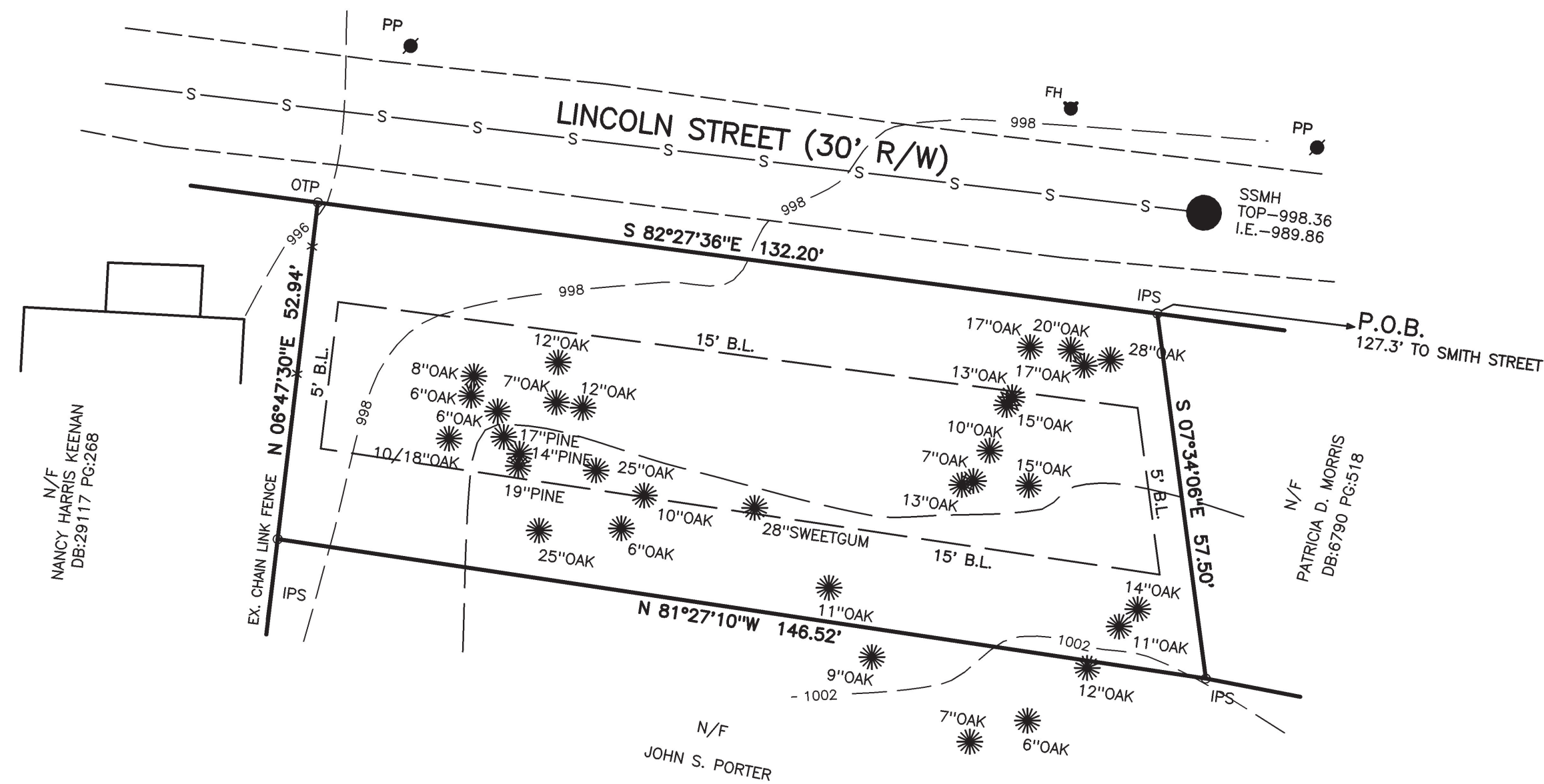
THIS PROPERTY IS NOT IN A FLOOD HAZARD AREA AS PER THE FIRM FLOOD HAZARD MAP OF DEKALB COUNTY, GEORGIA, COMMUNITY PANEL NUMBER 13089C 0078K, DATED 08/15/19

ZONING: NR-3 (CLARKSTON)

LOT AREA:
7546 sf.
0.173 ACRES

LEGEND

- IPF = 1/2" REBAR FOUND
- IPS = 1/2" REBAR PIN SET
- L.L. = LAND LOT
- L.L.L. = LAND LOT LINE
- P.L. = PROPERTY LINE
- CL = CENTERLINE
- B.L. = BUILDING LINE
- R/W = RIGHT-OF-WAY
- S.S.E. = SANITARY SEWER EASEMENT
- D.E. = DRAINAGE EASEMENT
- MH = MANHOLE
- C.B. = CATCH BASIN
- J.B. = JUNCTION BOX
- HW = HEADWALL
- D.I. = DROP INLET
- PP = POWER/UTILITY POLE
- F.H. = FIRE HYDRANT
- I.E. = INVERT ELEVATION
- F.F.E. = FINISHED FLOOR ELEVATION
- F.F.B. = FINISHED FLOOR BASEMENT
- F.F.G. = FINISHED FLOOR GARAGE
- BOC = BACK OF CURB
- EP = EDGE OF PAVEMENT
- N/F = NOW OR FORMERLY
- P.O.B. = POINT OF BEGINNING
- SS = SANITARY SEWER LINE/PIPE
- X-X-X = FENCE LINE
- O = FLOOD HAZARD ZONE LINE
- S = STORM SEWER LINE/PIPE
- W = WATER LINE
- G = GAS LINE
- CM = CONCRETE MONUMENT
- C.E. = CONSTRUCTION EASEMENT
- C&G = CURB AND GUTTER
- LS = LIGHT STANDARD
- OTP = OPEN TOP PIPE FOUND
- CTP = CRIMP TOP PIPE FOUND

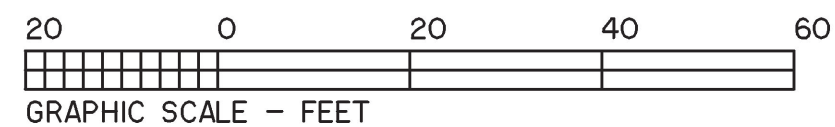
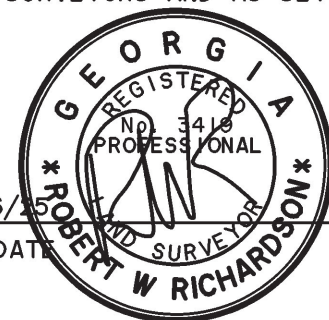


AS REQUIRED BY SUBSECTION (d) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON. SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Signature of Robert W. Richardson

ROBERT W. RICHARDSON, GA RLS #3419

01/16/25
DATE



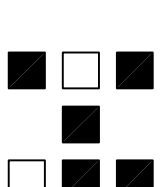
ALPHA LAND SERVICES
P.O. BOX 1651
LOGANVILLE, GA. 30052
ENGINEERING * LAND SURVEYING

REF. PLAT: PB. _____ P. _____
REVISION: _____
OFF: 770.696.4054 EMAIL: ROBERT@ALPHASURVEYOR.COM

SURVEY FOR:

3637 LINCOLN STREET
TAX PARCEL# 18 119 02 004

LAND LOT: 119	LOT: BLOCK: _____
DISTRICT: 18TH	SUB: _____
DEKALB COUNTY	
GEORGIA	
FIELD DATE: 01/15/25	AREA = 0.173 ACRES
PLAT DATE: 01/16/25	JOB No. 25-01-015



HERITAGE DESIGN BUILD GROUP
 Post Office Box 4033
 Atlanta, GA 30302 8170
 Telephone: 000 . 000 . 0000
 Facsimile: 000 . 000 . 0000

THE
 AGUIRRE
 RESIDENCE

3637 LINCOLN STREET
 CLARKSTON, GA 30021

Half Size Plot

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- 1) The contractor shall check and verify ALL dimensions and locations of existing structures to HERITAGE DESIGN BUILD GROUP prior to proceeding with construction.
- 2) The contractor shall verify compliance with ALL LOCAL BUILDING CODES in the municipality the building is to be constructed.
- 3) The contractor shall verify all engineering aspects shown on drawings and shall obtain all necessary permits from the local jurisdiction. All modifications to this plan, if changes are necessary, must be exercised in making any modifications to HERITAGE DESIGN BUILD GROUP. HERITAGE DESIGN BUILD GROUP shall protect its rights and be terminated for all legal and court costs, etc. of those drawings to any public body for any use does not release in any way the copyright and ownership of the drawings provisions listed herein.

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Print Record

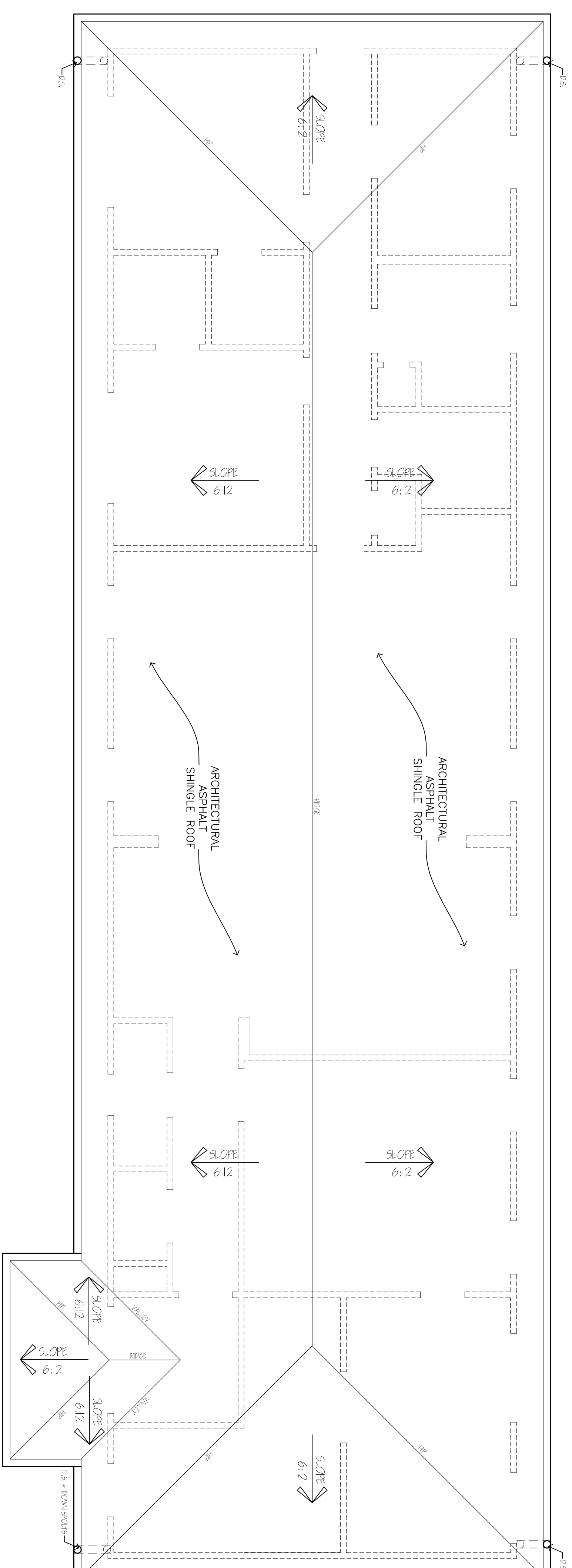
Revisions

Date: 23 MAY 2025
 Project #: 202501
 Drawn By: SH
 Checked By: SH

PROPOSED
 ROOF PLAN

A3

Released for Construction
 Not Released for Construction

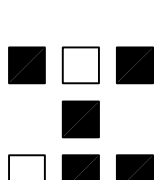


1 PROPOSED ROOF PLAN
 A3 SCALE: 1/4" = 1'-0"

NOTE: ALL OVERHANGS TO BE 2'-0" FROM
 OUTFACE OF STUD, UNLESS
 OTHERWISE NOTED.

GENERAL ROOF NOTES:

1. ALL ROOF VENTS TO BE LOCATED IN THE REAR OF THE ROOF OUT OF VIEW FROM THE FRONT OF THE HOUSE. IF IN QUESTION, CONTACT HERITAGE DESIGN BUILD GROUP.
2. DO NOT SCALE OFF DRAWINGS. USE DIMENSIONS ONLY. IF IN QUESTION, CALL HERITAGE DESIGN BUILD GROUP.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS AND REPORT ANY DISCREPANCIES TO HERITAGE DESIGN BUILD GROUP.
4. ALL VISIBLE VALLEYS SHALL BE EXPOSED FLASHING.
5. INDICATE ATTIC VENTILATION.



HERITAGE DESIGN BUILD GROUP
 Post Office Box 4033
 Atlanta, GA 30302 8170
 Telephone : 000 . 000 . 0000
 Facsimile : 000 . 000 . 0000

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 AGUIRE
 RESIDENCE

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 CLARSTON, GA 30021

Half Size Plot

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- 1) The contractor shall check and verify ALL dimensions and materials to be used on the project to HERITAGE DESIGN BUILD GROUP prior to proceeding with construction.
 - 2) The contractor shall verify compliance with ALL LOCAL BUILDING CODES in the municipality the building is to be constructed.
 - 3) The contractor shall obtain all necessary engineering approvals from the relevant authority. All engineering approvals must be exercised in making any modifications to this plan. If changes are necessary, contact HERITAGE DESIGN BUILD GROUP.
- HERITAGE DESIGN BUILD GROUP shall protect its rights and be reimbursed all legal and court costs, etc. for any and all claims, damages, and expenses of those drawings to any public body for any use does not release in any way the copyright and ownership of the drawings provisions listed herein.

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Print Record

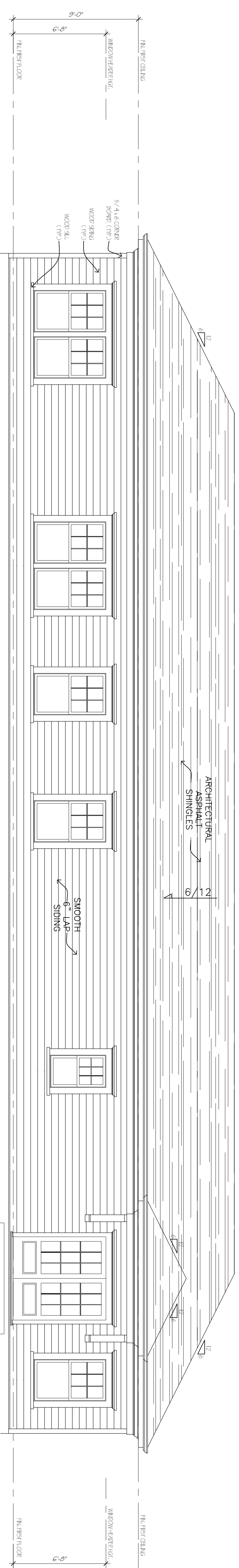
Revisions

Date: 21 MAY 2025
 Project #: 202501
 Drawn By: SHH
 Checked By: SHH

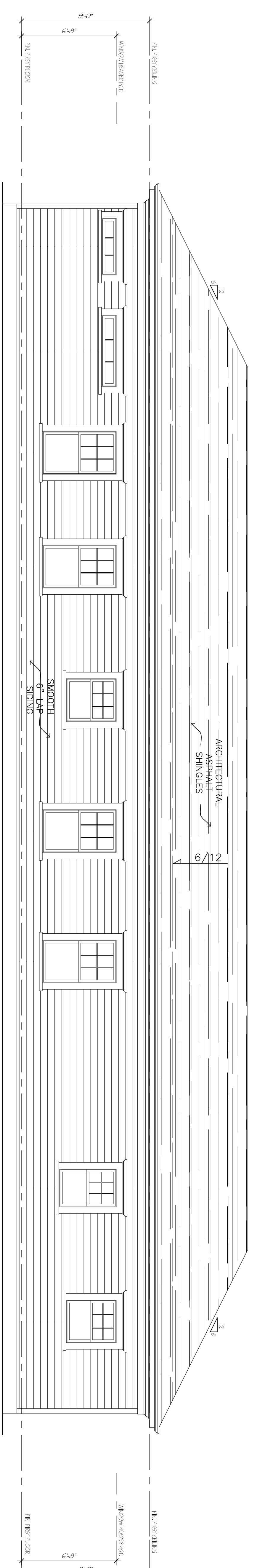
PROPOSED
 FRONT & REAR
 ELEVATIONS

A4

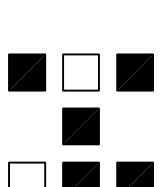
Released for Construction
 Not Released for Construction



1 PROPOSED FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
 SCALE: 1/4" = 1'-0"



HERITAGE DESIGN BUILD GROUP
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 Atlanta, GA 30302 8170
 Telephone: 000.000.0000
 Facsimile: 000.000.0000

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 3637 LINCOLN STREET
 CLARKSTON, GA 30021

Half Size Plot

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 1) The contractor shall check and verify ALL dimensions and conditions shown on this plan to HERITAGE DESIGN BUILD GROUP prior to proceeding with construction.
 2) The contractor shall verify compliance with ALL LOCAL BUILDING CODES in the municipality the building is to be constructed.
 3) All necessary engineering stamps and professional seals and signatures. Conditions must be exercised in making any modifications to this plan. If changes are necessary, contact HERITAGE DESIGN BUILD GROUP.
 HERITAGE DESIGN BUILD GROUP shall protect its rights and be reimbursed all legal and court costs, etc. of those drawings to any public body for any use does not release in any way the copyright and ownership of the drawings provisions listed herein.

Only a qualified architect, designer, contractor or engineer or professional seal and signatures, as even minor changes could lead to major problems.

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Print Record

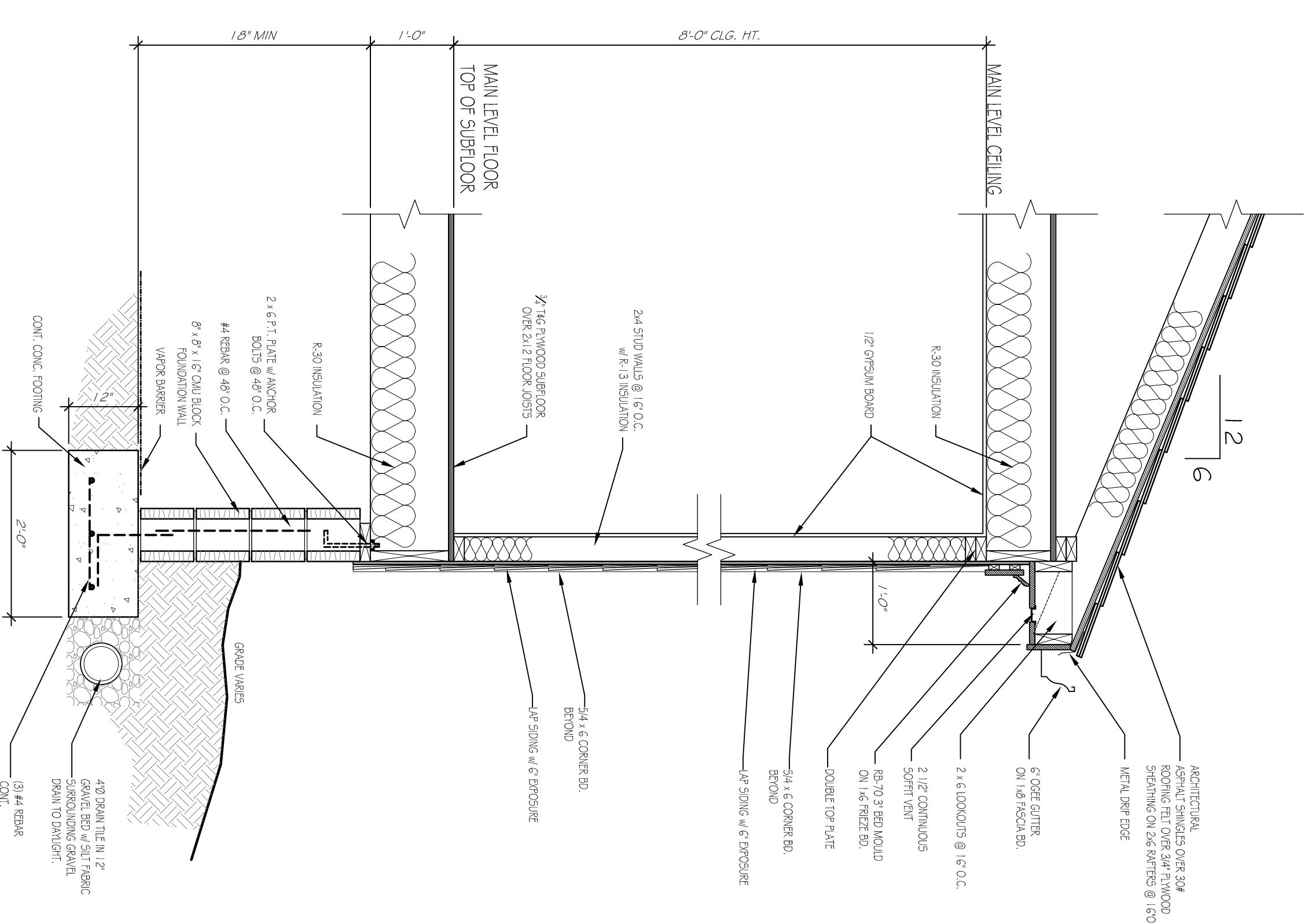
Revisions

Date: 21 MAY 2025
 Project #: 202501
 Drawn by: SMH
 Checked by: SMH

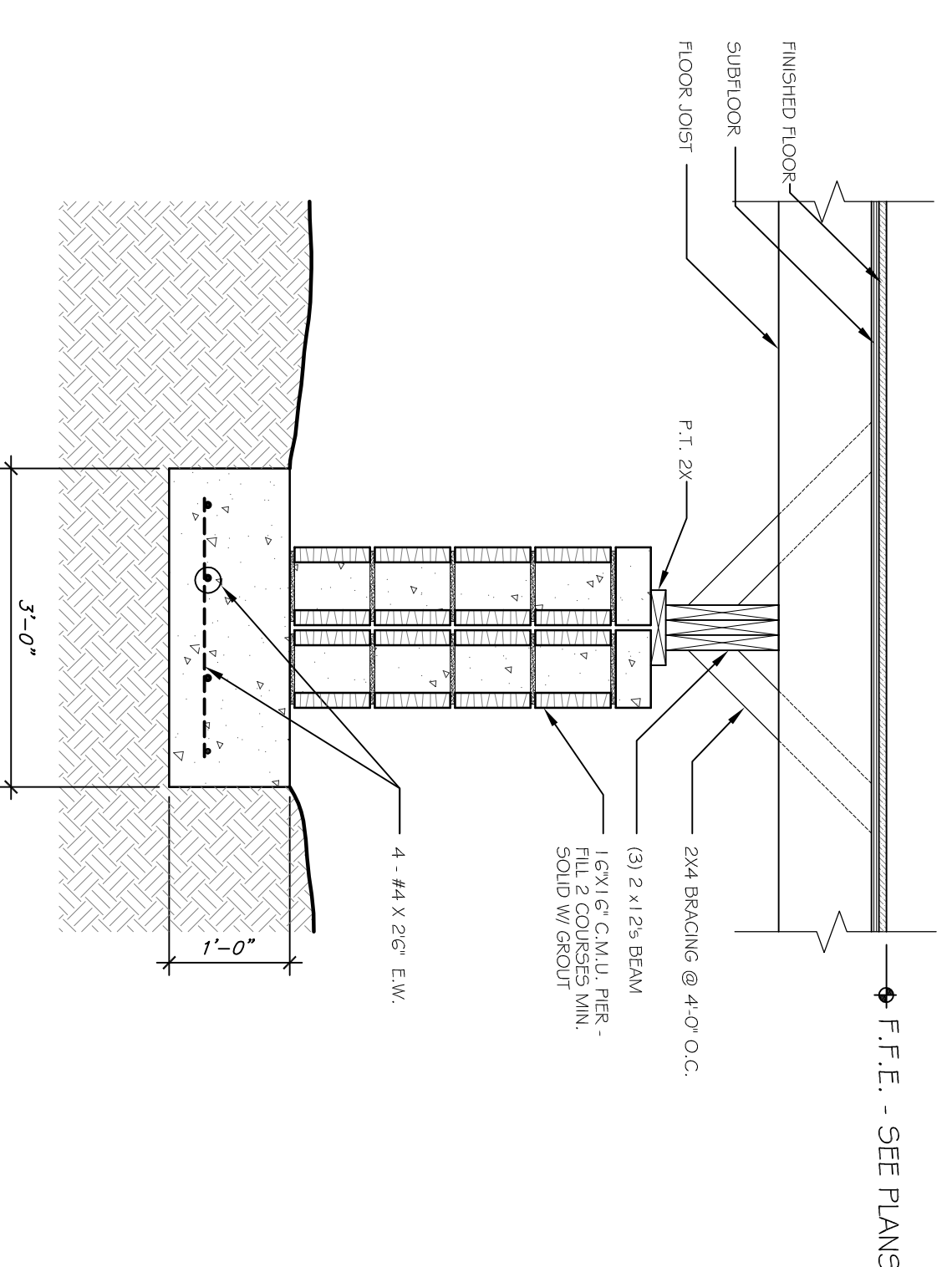
PROPOSED
 LEFT & RIGHT
 ELEVATIONS
 AND WALL SECTION

A5

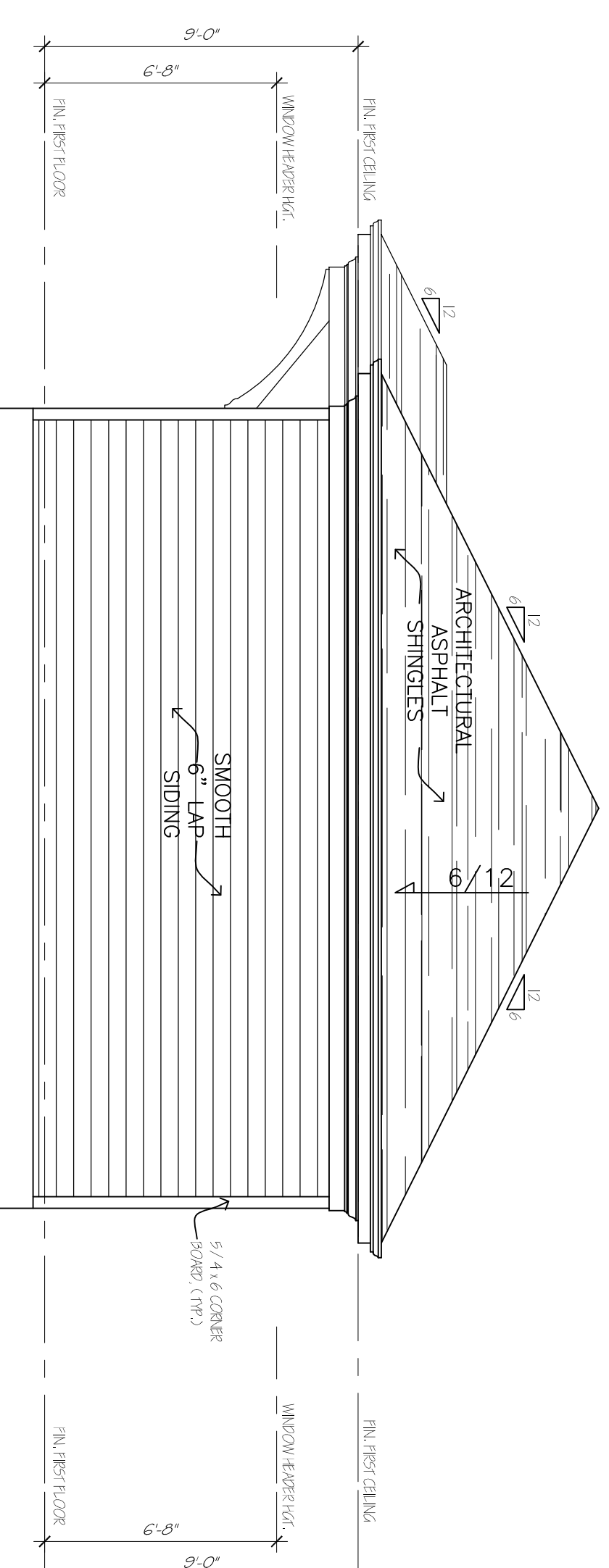
Released for Construction
 Not Released for Construction



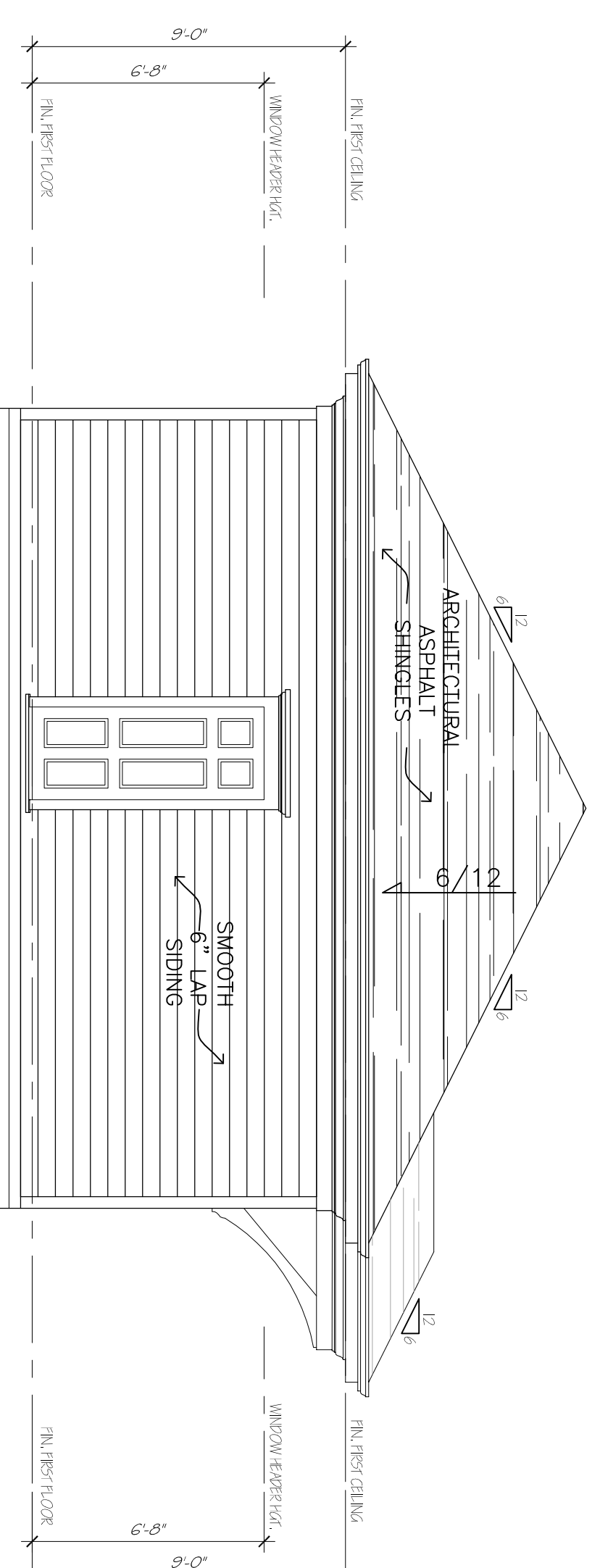
3 TYPICAL WALL SECTION
 A4 SCALE: 3/4" = 1'-0"



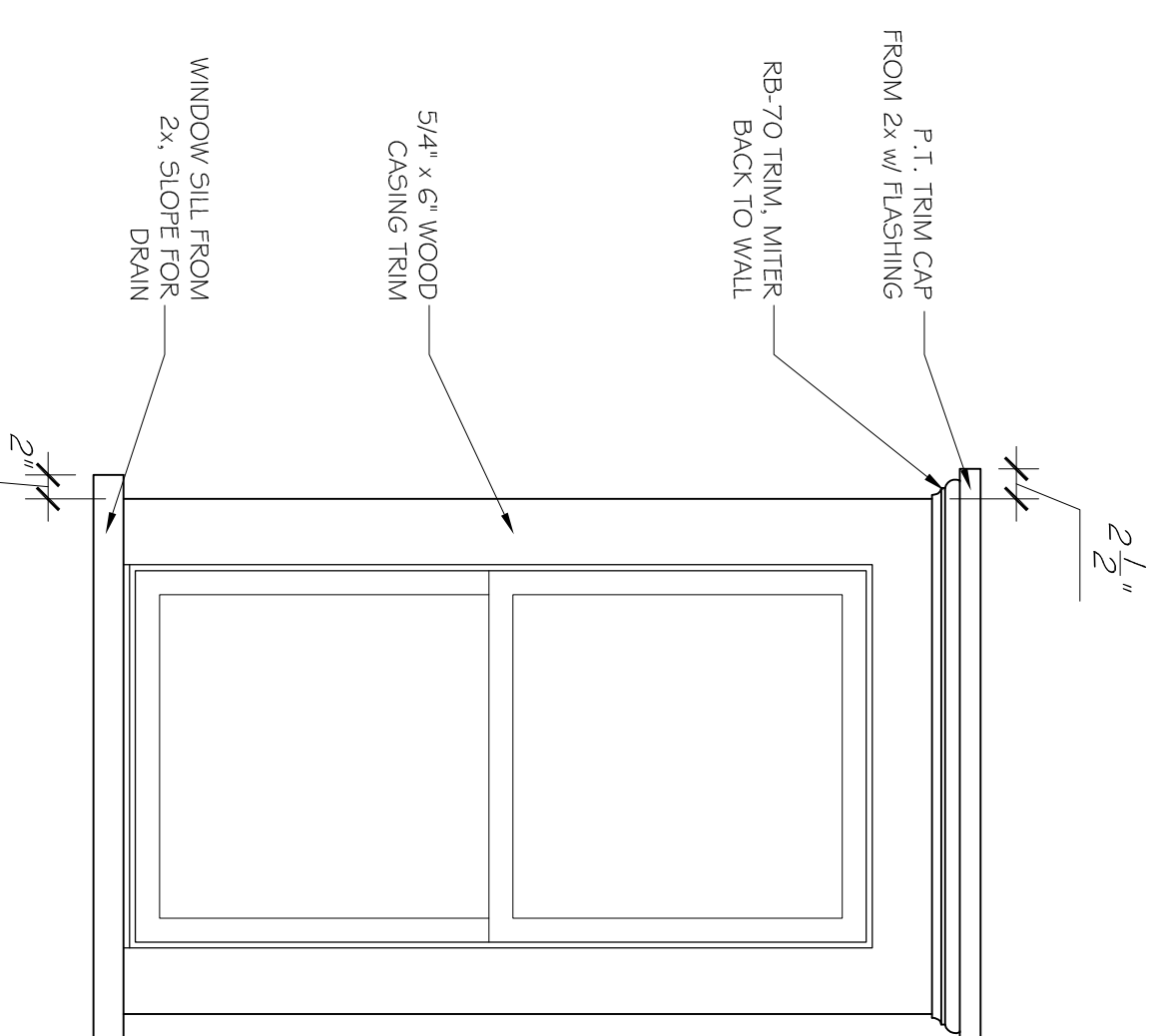
4 TYPICAL PEIR DETAIL
 A4 SCALE: 3/4" = 1'-0"



1 PROPOSED RIGHT ELEVATION
 A5 SCALE: 1/4" = 1'-0"



2 PROPOSED LEFT ELEVATION
 A5 SCALE: 1/4" = 1'-0"



5 TYPICAL WINDOW UNIT
 A5 SCALE: 3/4" = 1'-0"

STAFF ANALYSIS AND REPORT

To: City of Clarkston Planning & Zoning Board

From: Richard Edwards, AICP

Subject:

Proposed Text Amendments to the City of Clarkston Zoning Ordinance to add Sec. 527(c)(6)(ii) to allow City Council to waive the requirement for a Homeowners Association (HOA), if the proposed Planned Unit Development does not have shared infrastructure, amenities, or open space.

Date: September 23, 2025

Background:

Section 527 of the Zoning Code currently mandates the establishment of a Homeowners Association (HOA) for all Planned Unit Development (PUD) types. The proposed text amendment would authorize the City Council, at its discretion, to waive the requirement for the formation of an HOA in instances where the proposed PUD does not include shared amenities, common infrastructure, or dedicated open space.

Analysis:

As part of the Planned Unit Development (PUD) application process, any applicant seeking a waiver from the Homeowners Association (HOA) requirement must demonstrate, through the site plan submittal, that the proposed development does not include any shared amenities, common infrastructure, or open space.

The City Engineer and the Director of Planning and Economic Development shall be responsible for reviewing such applications and providing formal recommendations to the City Council regarding the appropriateness of granting an HOA waiver.

In the event that a waiver is granted, the applicant shall remain obligated to record private deed covenants applicable to all individual properties within the PUD. These covenants shall assign full responsibility for the maintenance and upkeep of each lot to the respective property owner.

Recommendation:

Staff recommends **APPROVAL** of the proposed text amendment to add Sec. 527(c)(6)(ii) to allow City Council to waive the requirement for a Homeowners Association (HOA), if the proposed Planned Unit Development does not have shared infrastructure, amenities, or open space.

Sec. 527. Standards applying to all planned unit developments.

All planned unit developments (PUD) shall meet the following standards and such other requirements as are set forth with respect to each of the four (4) permitted types of planned unit developments:

- (a) Review of Planned Unit Developments.
 - (1) Plans for all Planned Unit Developments must be designed and submitted for review and approval pursuant to Article II of this zoning ordinance.
- (b) Permitted locations.
 - (2) Planned Unit Developments shall be permitted as outlined in Table 4.1.
- (c) Development standards.
 - (1) The development shall utilize design and development features that would not be possible by the application of lot-by-lot zoning district regulations.
 - (2) Site planning. Site planning in the proposed planned unit development shall give consideration to the topography; it shall be compatible with the topography of the land and shall preserve any unusual and valuable natural features.
 - (3) The development shall not adversely affect developed or undeveloped neighboring properties; it should consider the location of structures, screening, setbacks and street design in the evaluation of the relationship of the development to its surrounding areas.
 - (4) Service and emergency access. Access and circulation shall adequately provide for firefighting and other emergency equipment, service deliveries and refuse collection.
 - (5) Infrastructure. Provision shall be made for acceptable design and construction of storm sewers and stormwater retention facilities, as required by Chapter 19 of the City Code and by DeKalb County. Transportation and other infrastructure, such as schools, water and sewer shall be adequate for the proposed development or there shall be a definite proposal for making them so. All planned developments are required to connect to county water and sewer system.
 - (6) Covenants. The planned unit development shall include such covenants and legal provisions as will assure conformity to the achievement of the plan
 - (i) General private deed covenants. The entire planned development shall be included within private deed covenants running with the land to assure the continuance of the planned residential development in accordance with approved plans and development. No certificate of occupancy shall be issued until a copy of the recorded legal covenants has been submitted to the city.
 - (ii) City Council shall reserve the right to waive the requirement for a Homeowners Association (HOA) in any Planned Unit Development (PUD) that does not include shared amenities, infrastructure, or open space.
- (d) Conformance with existing zoning.
 - (1) Future land use map. Planned unit developments shall not violate the provisions of the future land use map.
 - (2) Permitted Uses. Only those uses permitted in the zoning district in which the proposed development is located shall be permitted in the planned unit development.
 - (3) Signs. Planned unit developments shall strictly comply with the signage provisions of Chapter 15.5 of the Clarkston City Code.

-
- (4) Off-street parking requirements. The off-street parking requirements of this zoning ordinance shall be met.
 - (5) Yards. Along the exterior boundaries of a planned development, no yard shall be less than five (5) feet in width and buffer requirements of this ordinance shall be met.
 - (6) Common open space requirements. The open space requirements for the underlying district shall be met unless otherwise stated in this section.
 - (i) Open space maintenance. In the event the property owners' association for a planned residential or cottage housing development fails to maintain the common open space property, the city may serve written notice upon the property owners' association and upon the residents and owners of the planned development setting forth the manner in which the organization has failed to maintain the common open space in reasonable condition. Said notice shall include a demand that such deficiencies of maintenance be corrected within thirty (30) days thereof, and shall state the date and place of a hearing thereon which shall be held within fifteen (15) days of the notice.
 - a. If the deficiencies are not corrected within said thirty (30) days, the city, in order to preserve the taxable values of the properties within the planned development and to prevent the common open space from becoming a public nuisance, may enter upon said common open spaces and maintain the same for one (1) year and thereafter until the property owners' association is prepared to provide proper maintenance.
 - b. The cost of such maintenance by the city shall be assessed ratably against the properties within the planned residential or cottage development that have a right of enjoyment of the common open space and shall become a tax lien upon said properties. The city at the time of entering upon said common open space for the purpose of maintenance, shall file a notice of such lien in the office of the county tax assessor upon the properties affected by such lien within the planned residential development.
 - (ii) Phased development projects. Planned Unit Development applicants may propose construction phases (commencement and completion dates) for a planned residential development project that has identified, logical geographical sections or pods; a construction phasing plan shall be reviewed by the planning and zoning board and the mayor and city council for approval.
 - (iii) Performance bonds required. The landowner shall furnish such bond(s) as may be recommended to the mayor and city council by the planning and zoning board and approved by the mayor and city council to be reasonably required to assure performance in accordance with the planned development plan and to protect the public interest in the event of abandonment of said plan before completion.

(Ord. No. 480, § 1, 6-6-23)

STAFF ANALYSIS AND REPORT

APPLICANT: Megha Ramani – Altair Homes ATL, LLC

LOCATION: 905, 911, 917, 929, and 935 Mell Avenue
(Parcel ID: 18 097 10 048, 047, 046, 059, and 050)

ZONING: NR-3: High Density Neighborhood Residential

REQUEST: Request a Planned Unit Development (PUD) – Planned Residential Development to construct 13 single-family homes.

ZONING/ADJACENT LAND USE:

North	NR-3: Single-family Residential
South	NC-1: Vacant Commercial Building
West	NR-1: Single-family Residential
East	NR-3: Single-family Residential

MEETING INFORMATION:

Planning & Zoning Commission:	09/23/2025 – 7:00 P.M
Mayor & City Council Public Hearing:	09/30/2025 – 7:00 P.M.
Mayor & City Council 2 nd Read:	10/07/2025 – 7:00 P.M.

RECOMMENDATION:

Staff recommends **APPROVAL** of a Planned Unit Development (PUD) – Planned Residential for the construction of 13 single-family homes with conditions.

BACKGROUND:

On November 7, 2024, the City Council approved a rezoning from NR-1 to NR-3 for 911, 917, 929, and 935 Mell Avenue. Four (4) of the five (5) lots are currently vacant, undeveloped lots and the remaining lot at 929 Mell Avenue would require a demolition of an existing single-family home. On September 2, 2025, the City Council approved a rezoning for 905 Mell Avenue from NC-1 to NR-3.

The applicant is requesting a PUD for Planned Residential Development for the construction of 13 single-family homes. The development does align with the underlying NR-3 zoning requirements with the exception of the minimum lot width. The proposed development is requesting three (3) lots to have a width of 30' and 10 lots to have a 36' width.

	NR-3 Requirement	Proposed PUD
Max. FAR	0.4	~0.27
Lot Coverage	50%	~35%
Lot Width	50'	30' & 36'
Building Height	35'	25'
Lot Size	5,000 sq. ft.	6,000 sq. ft. & 7,200 sq. ft.
Front Setback	15'	15'+
Side Setback	5'	5'+
Rear Setback	15'	100'+

The applicant has stated that the PUD request is an effort to keep the development in line with the existing single-family neighborhood.

These properties total approximately 2.07 acres (89,986 sq. ft.) and in the NR-3 zoning district based on the Floor Area Ratio (FAR) requirement of 0.4, they could potentially construction 22 townhomes at 1,600 square feet per unit or 18 townhomes at 2,000 square feet per unit. These numbers would need to be verified by engineered plans but these numbers reflect the maximum density based on the lot area.

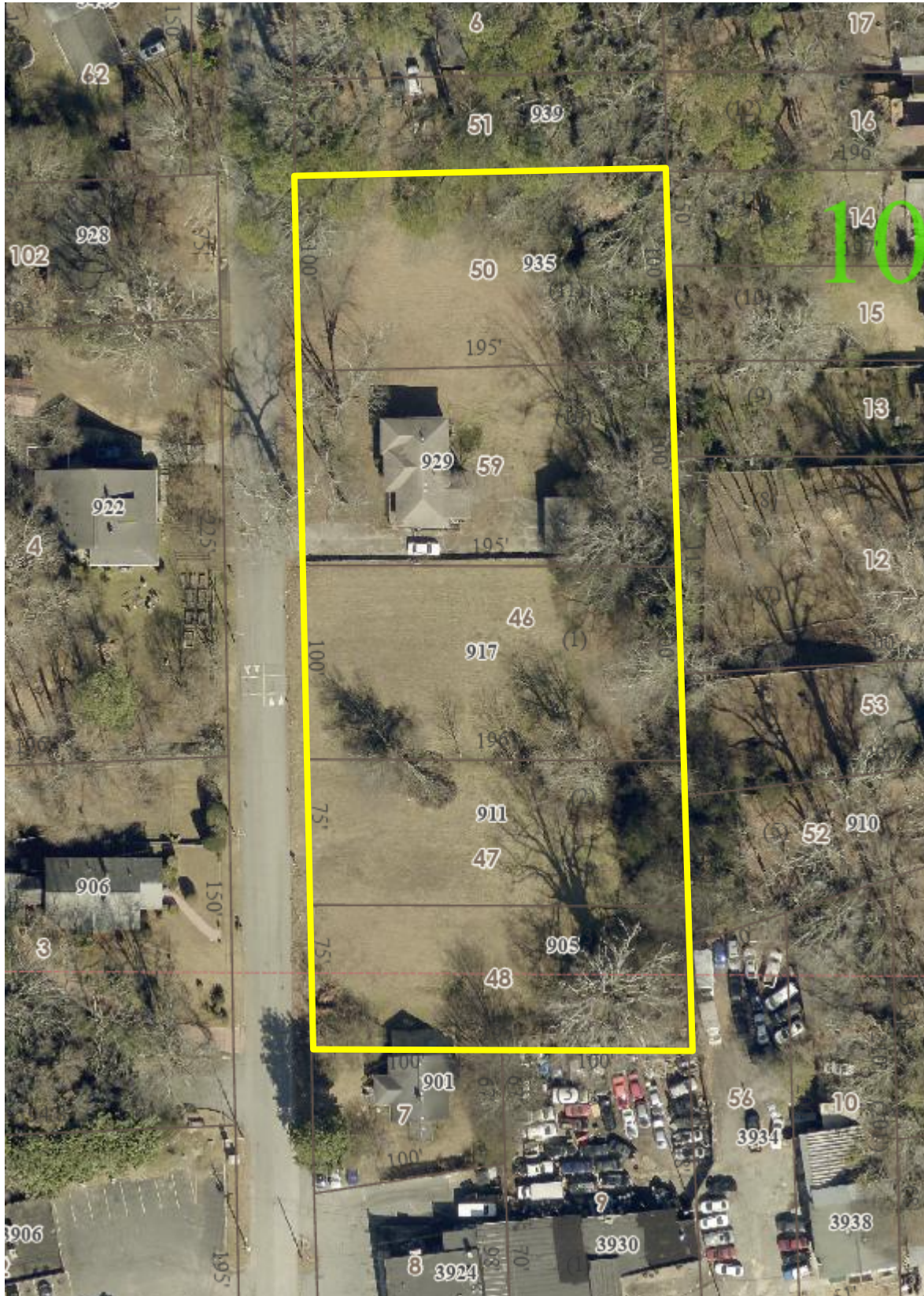
The applicant held their neighborhood community meeting on Monday, October 8, 2025 from 5pm-7pm at the site of the proposed development.

Recommendation:

Pursuant to Article II of the City of Clarkston Zoning Ordinance, Staff has reviewed the request in accordance with the required review criteria and recommends **APPROVAL** of the Planned Unit Development (PUD) – Planned Residential Development for the construction of 13 single-family homes with the following conditions:

1. The development shall be substantially in compliance with the site plan dated April 10, 2025.
2. The architectural elevations shall be substantially in compliance with the Newberry plan dated November 11, 2024 and the Rosemont plan dated August 8, as submitted as part of this packet.
3. The development shall contain a 5' landscape strip and 5' sidewalk, as required in Sec. 540(a).

Aerial of the site





REZONING APPLICATION

Form # 200-RZ

This page must be completed by the Applicant. Please see Applicant Instructions for full requirements.

SUBMITTAL CHECKLIST

Your application must include the following items, or it will not be considered complete:

- Conceptual Site Plans to scale (see checklist for requirements) (survey boundary required component of conceptual plans)
- Written Legal Description of Property
- Property Deed
- Recorded Plat of Property (seven (7) copies)
- Campaign Contribution Disclosure Form
- Filing Fee (payable to The City of Clarkston)
- Check here if applicant seeks to annex the listed property into the City limits

FOR OFFICE USE/DETERMINATION

Review determination and fee: Review fee (payable to *The City of Clarkston*) depends on type of review(s). (See Fee Schedule):

_____ Rezoning (type(s)) _____ (Fee) _____

APPLICANT INFORMATION

Megha Joshi	Altair Developments		
Applicant Name	Company		
1984 Howell Mill Rd.	# 19973	Atlanta GA	30325
Mailing Address	Suite/Apt. #	City, State	Zip Code
404-247-7727			
Primary Phone #	Alternate Phone #	Fax #	
hello@altairdevelopments.com			
Email Address			

PROJECT SUMMARY

Mell Row - Planned Unit Development

Name of Project

Detailed Project Description (Include proposed use(s) and square footage of floor area for each use):

Planned Unit Development with 13 Single Family Homes Detached

Minimum lot width of 10 homes to be 36' wide and 3 homes to be 30' wide

With NO Home Owners Association

Total Number of Parcels Involved: <u>5</u>	Total Project Acreage: <u>2.066</u>
Total Number of Buildings: <u>13</u>	Total Estimated Cost of Planned Improvements: <u>3,300,000</u>

- Development of Regional Impact (see table for thresholds that trigger DRI review)
- Project Submittal Checklist and all documents, plans, written analysis, and fees required therein accompany this application form.

I hereby certify that all information provided herein and in the accompanying documents is true and correct.

Pre-Application Date: _____	City Plnr/Engr Project # _____	Rev. 05/01/12
Case # _____		Page 1 of 3



REZONING APPLICATION

Form # 200-RZ

Melissa

8/31/2025

Applicant Signature

Date

Property Owner

Owner's Agent

SURVEYOR'S CERTIFICATE

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND.

FURTHERMORE, THE UNDERSIGNED SURVEYOR CERTIFIES THAT : IN MY OPINION, THIS DRAWING WAS PREPARED IN CONFORMITY WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. 15-6-67.

PRESENTED BEFORE ME THIS 25 DAY OF JUNE IN THE YEAR OF 2018.

SEATON G. SHEPHERD, JR., GA RLS No. 2136

FIELD OBSERVATION NOTES:

1. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED IS CLASSIFIED AS A "BOUNDARY SURVEY". AND COMPLETED ON 06/11/2018 UTILIZING A TOPCON GS ROBOTIC TOTAL STATION AND/OR A TOPCON HIPER V GPS NETWORK RTK (REAL TIME KINEMATIC) ROVER, CORRECTED IN REAL-TIME VIA THE eGPS GPS NETWORK.

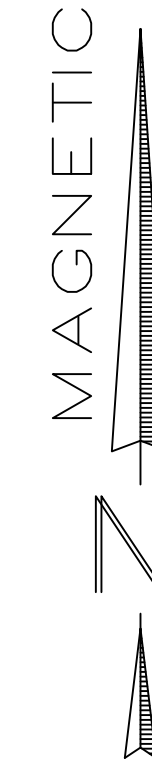
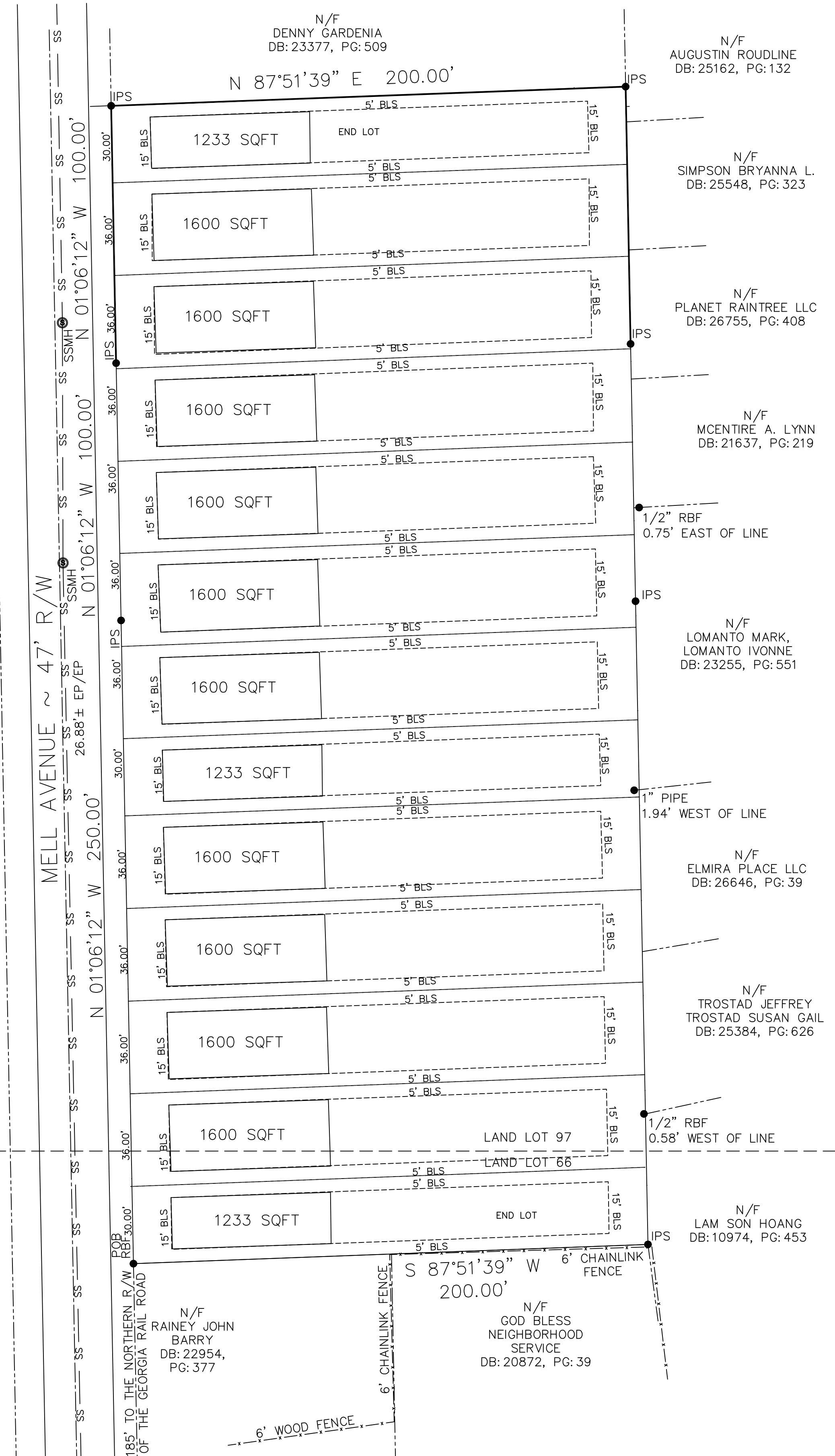
2. THE FIELD DATA UPON WHICH THIS SURVEY, MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED EXCEEDS THE 95% CONFIDENCE LEVEL AND EXCEEDS THE MAXIMUM ALLOWABLE RELATIVE POSITIONAL ACCURACY, AS SET FORTH BY THE ALTA/NSPS STANDARDS, SPECIFICATION AND REQUIREMENTS OF 0.07+50 PPM.

3. THE FIELD CLOSURE UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 58,950 FEET, AND WAS NOT ADJUSTED.

4. THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA BASED ON THE FLOOD INSURANCE RATE MAP FOR THIS AREA. THE MAP NUMBER FOR THIS AREA IS I3089C0086J, CONTAINING A LATEST DATE OF 05/16/2013. THIS DETERMINATION WAS MADE BY GRAPHICALLY DETERMINING THE POSITION OF THE SITE ON SAID FIRM (FEDERAL INSURANCE RATE MAP) MAP UNLESS OTHERWISE NOTED.

- * L E G E N D ***
 NOTE: ALL ITEMS IN THIS LEGEND MAY NOT APPEAR ON THIS PLAT.
 AKA ALSO KNOWN AS N/F NOW OR FORMERLY
 APD AS PER DEED NAIL NAIL FOUND
 APP AS PER PLAT P PLAT (BOOK/PAGE)
 BSL BUILDING (SETBACK) LINE POB POINT OF BEGINNING
 CP COMPUTED POINT POC POINT OF COMMENCEMENT
 CTP CRIMP TOP PIPE FOUND R RADIUS LENGTH
 OTP OPEN TOP PIPE FOUND R/W RIGHT-OF-WAY
 D DEED (BOOK/PAGE) RBF REINFORCING BAR FOUND (1/2" UNO)
 DW DRIVEWAY RBS 1/2" REINFORCING BAR SET
 EP EDGE OF PAVEMENT SW SIDEWALK
 FFE FINISH FLOOR ELEVATION SWK SIDEWALK
 FKA FORMERLY KNOWN AS SSE SANITARY SEWER EASEMENT
 IPF IRON PIN FOUND SSCO SANITARY SEWER CLEANOUT
 L ARC LENGTH SSMH SANITARY SEWER MANHOLE
 LL LAND LOT -X- FENCE LINE
 LLL LAND LOT LINE CB CATCH BASIN
 N NEIGHBOR'S SWCB STORM WATER CATCH BASIN
 WALL

Planned Unit Development



MAP OR PLAT CLOSURE STATEMENT & NOTES:

1. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 600,050 FEET.
2. ALL DISTANCES SHOWN HEREIN ARE HORIZONTAL, GROUND DISTANCES.
3. UNLESS OTHERWISE NOTED ON THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED, ALL PROPERTY CORNERS IDENTIFIED AS SET, ARE SET WITH A 1/2" REBAR (#4-REBAR) BEARING A PLASTIC CAP STAMPED WITH THE SURVEYORS REGISTRATION / LICENSE NUMBER.
4. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS A HORIZONTAL DATUM OF GEORGIA STATE PLANES, WEST ZONE NAD83.
5. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSON(S) OR ENTITY NAMED WITHIN TITLE BLOCK AND/OR SURVEYORS CERTIFICATION. SURVEYOR MAKES NO WARRANTIES, EITHER EXPRESSED OR IMPLIED, WITH RESPECT TO THE INFORMATION SHOWN HEREIN, EXTENDED BEYOND THOSE NAMED DIRECTLY.
6. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED HAS BEEN PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. ITEMS PERTAINING TO TITLE SUCH AS EASEMENTS, ZONING, ZONING CONDITIONS AND OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD HOWEVER MAY NOT BE SHOWN OR DEPICTED HEREIN.

UTILITY NOTES:

1. THE UTILITIES SHOWN HEREIN ARE BASED ON VISIBLE OBSERVATIONS
2. THE SURVEYOR DOES NOT WARRANT, GUARANTEE OR CERTIFY THAT THE UNDERGROUND OR ABOVE GROUND UTILITIES SHOWN COMPRISE ALL UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. UNDERGROUND UTILITIES OBSERVED OR LOCATED MAY EXIST ON THIS SITE THAT ARE NOT SHOWN OR DEPICTED, AND MAY BE FOUND UPON FURTHER EXAMINATION OR EXCAVATION. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT, GUARANTEE OR CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN OR DEPICTED ARE IN THE EXACT LOCATION AS INDICATED HOWEVER THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE AND TO THE BEST OF THE SURVEYORS ABILITY.
3. AT VARIOUS SANITARY OR STORM SEWER STRUCTURES SHOWN HEREIN, THERE MAY BE ADDITIONAL LINES (PUBLIC OR PRIVATE) ENTERING OR EXISTING THE STRUCTURE THAT MAY NOT BE IDENTIFIED

#929 IMPERVIOUS (IN SQUARE FEET)	
HOUSE	1616
CONC. DW	2597
CONC. SW	165
PORCH	160
STEPS	67
GARAGE	556
RAMP	46
WALL	42
TOTAL IMPERVIOUS	5249

PROPERTY ADDRESS:
905, 911, 917, 929, & 935
MELL AVENUE,
CLARKSTON, GA 30021

LAND AREA:
89,985 SF
2.066 AC

IMPERVIOUS AREA:
929-EXIST= 5203 SF=26.2%

PLAT PREPARED FOR:
905, 911, 917, 929, & 935
MELL AVENUE

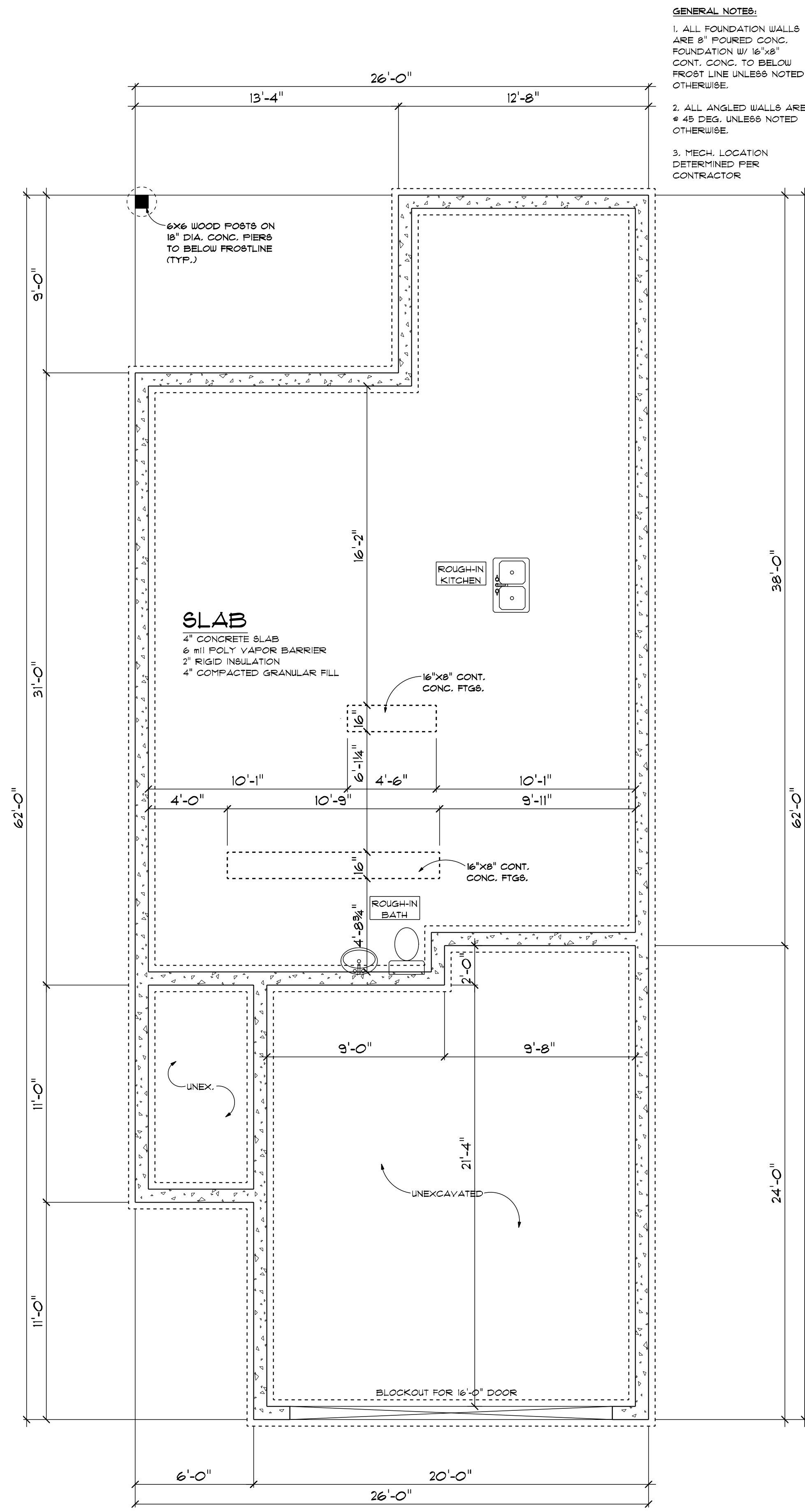
LOT 4,5,6,7,8,9,10,11,12 JOLLY STATION SUBDIVISION
LAND LOT 97 & 66 18th DISTRICT BY:
DeKALB COUNTY, GEORGIA FIELD DATE: 04-XX-2025 XX
CITY OF DRAWN DATE: 04-10-2025 AE

REFERENCE: PLAT BOOK 2, PAGE 78 ALL MATTERS OF TITLE ARE EXCEPTED, NOT TO BE RECORDED NOR USED TO CONVEY PROPERTY.
 REFERENCE: DEED BOOK XXXXX, PAGE XXX

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 10,000+ FEET, AN ANGULAR ERROR OF +/-1 SECOND PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 30,000+ FEET. AN ELECTRONIC TOTAL STATION WAS USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY.

THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67.

0 30
SCALE 1" = 30'



- GENERAL NOTES:**
1. ALL FOUNDATION WALLS ARE 8" POURED CONC. FOUNDATION W/ 16"x8" CONT. CONC. TO BELOW FROST LINE UNLESS NOTED OTHERWISE.
 2. ALL ANGLED WALLS ARE # 45 DEG. UNLESS NOTED OTHERWISE.
 3. MECH. LOCATION DETERMINED PER CONTRACTOR

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



PRELIM
FINAL
11/11/2024
REVISION

Newberry
2x4 Slab



ADVANCED
HOUSE PLANS
ADVANCEDHOUSEPLANS.COM

ADVANCED HOUSE PLANS IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATION, CLIMATE, BECAUSE SITE CONDITIONS VARY, AND CANNOT GUARANTEE THAT THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE CONSULTATION OF A PROFESSIONAL ENGINEER OR ARCHITECT. THE BUYER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS, FINISHES, CODES & SITE REQUIREMENTS PRIOR TO CONSTRUCTION. THAT MAY OCCUR DURING OR AFTER THE BUILDING PROCESS.

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29311

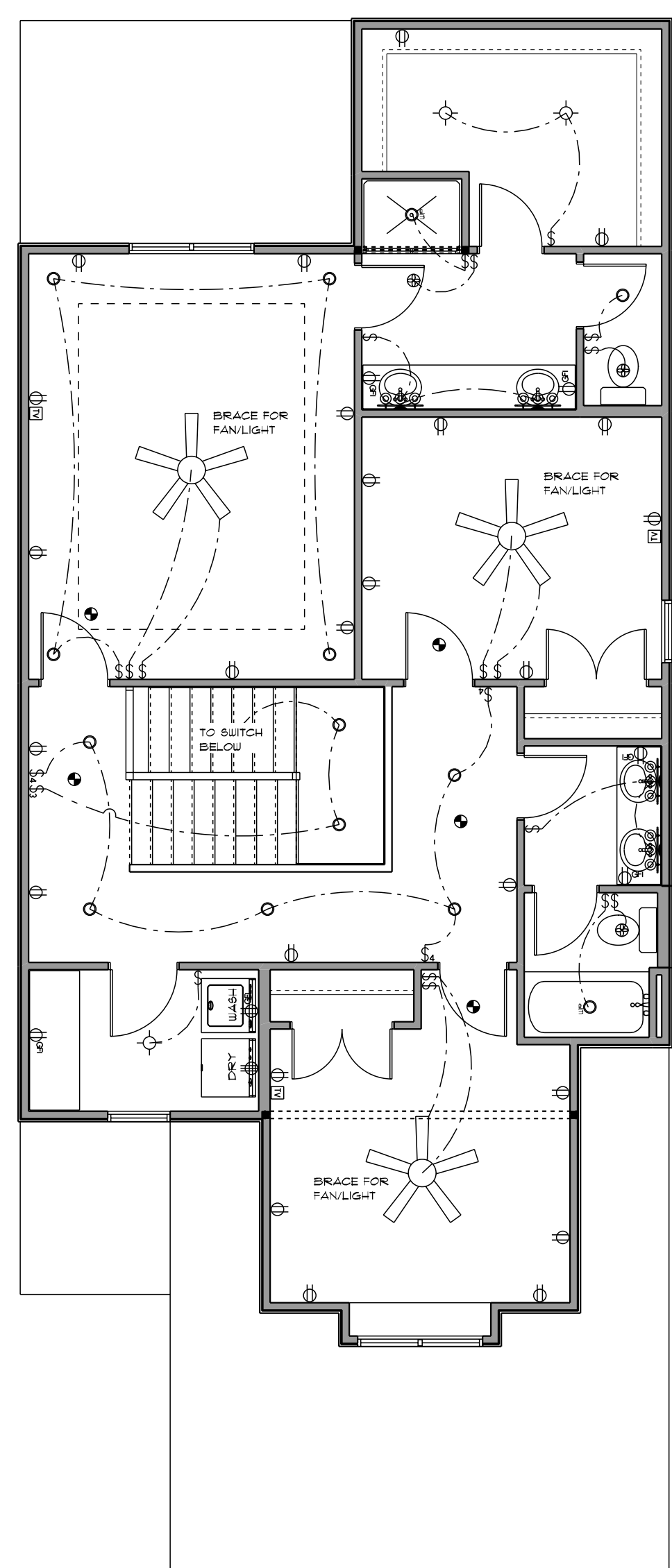
SHEET
3
1 OF 3

The purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions.

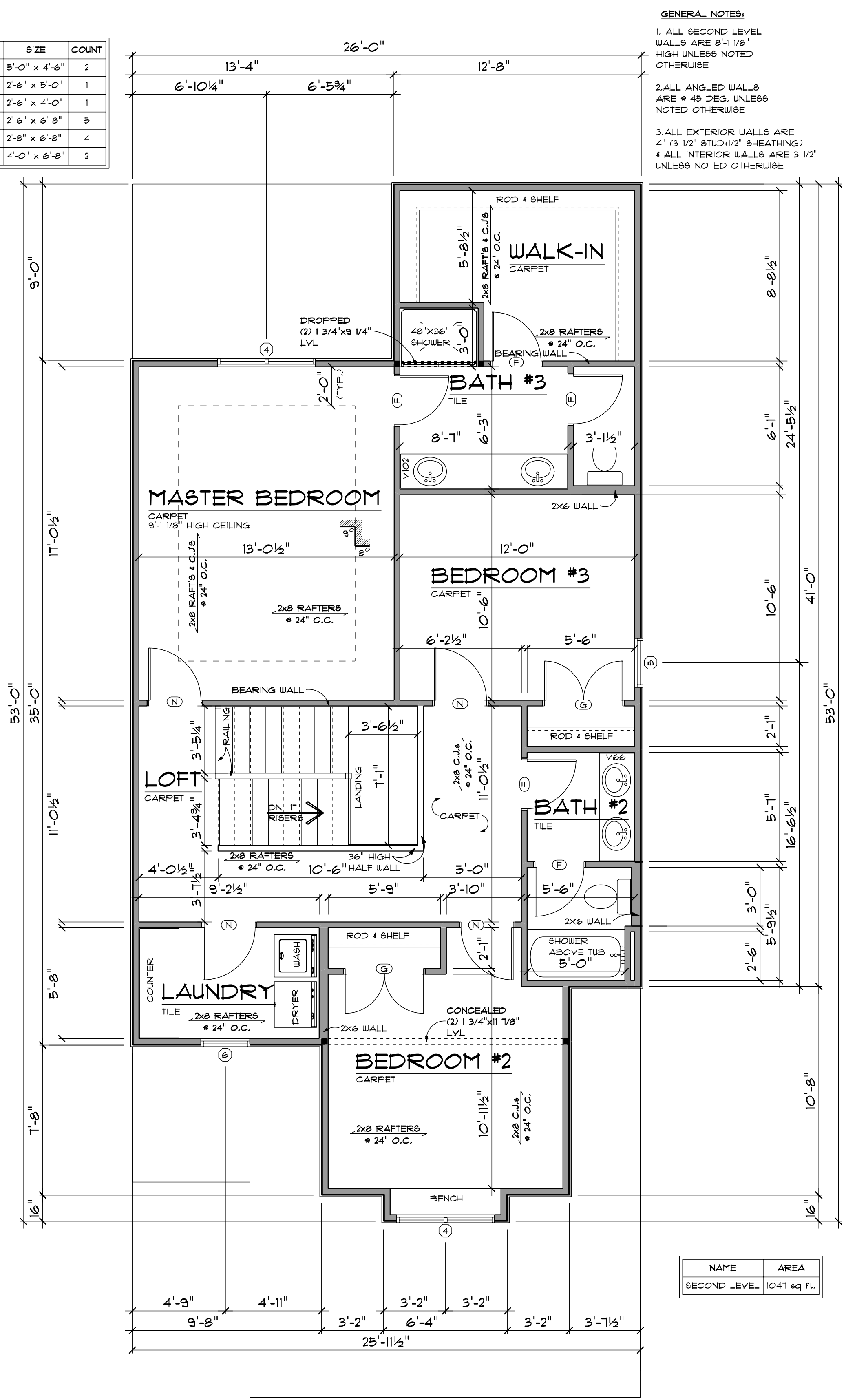
The purchaser of these plans is given the limited license to reproduce these plans for construction purposes only and further distribution is illegal. Do not scale prints - see dimensions.

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
4	WINDOW	60X84 CASEMENT 2	5'-0" x 4'-6"	2
B	WINDOW	30X60 CASEMENT 1	2'-6" x 5'-0"	1
6	WINDOW	30X48 CASEMENT 1	2'-6" x 4'-0"	1
F	DOOR	30X80 1	2'-6" x 6'-8"	5
N	DOOR	32X80 1	2'-8" x 6'-8"	4
G	DOOR	48X80 2	4'-0" x 6'-8"	2

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan 5 blades C4	3	
can light waterproof 6 inch	2	
can light 6 inch	2	
ceiling tv outlet	3	
fan	3	
light	3	
outlet	25	
outlet 220v	1	
outlet gfci	6	
smoke detector	5	
switch	11	
switch 3 way	1	
switch 4 way	3	
wall mounted C3 3 lights	4	



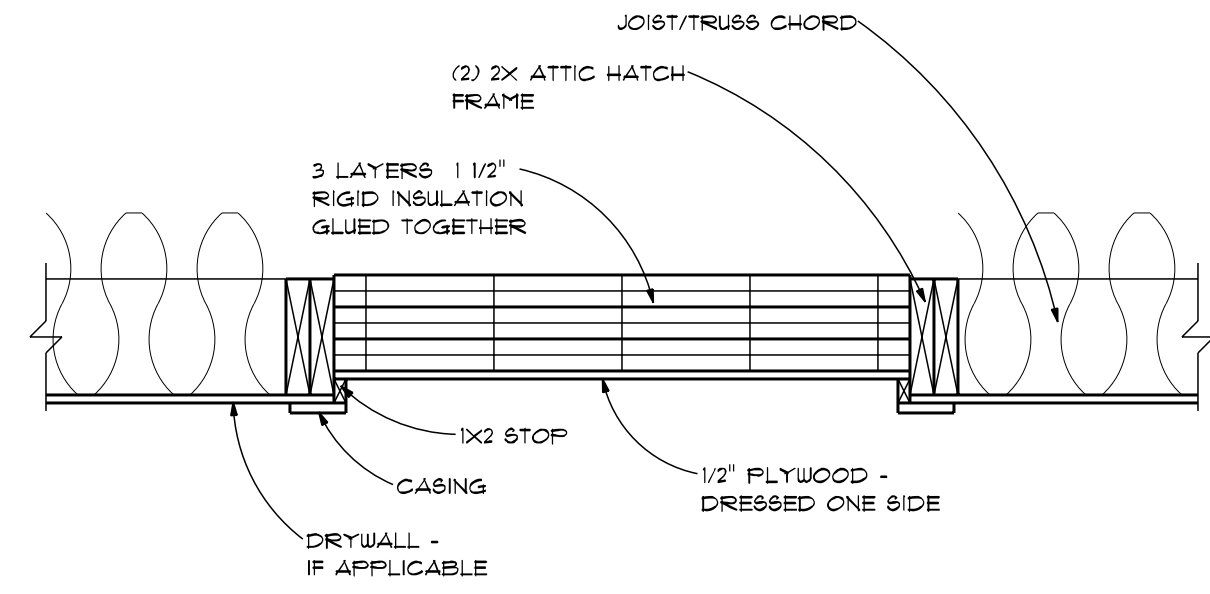
SECOND LEVEL ELECTRICAL PLAN
SCALE: 3/16" = 1'-0"



SECOND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

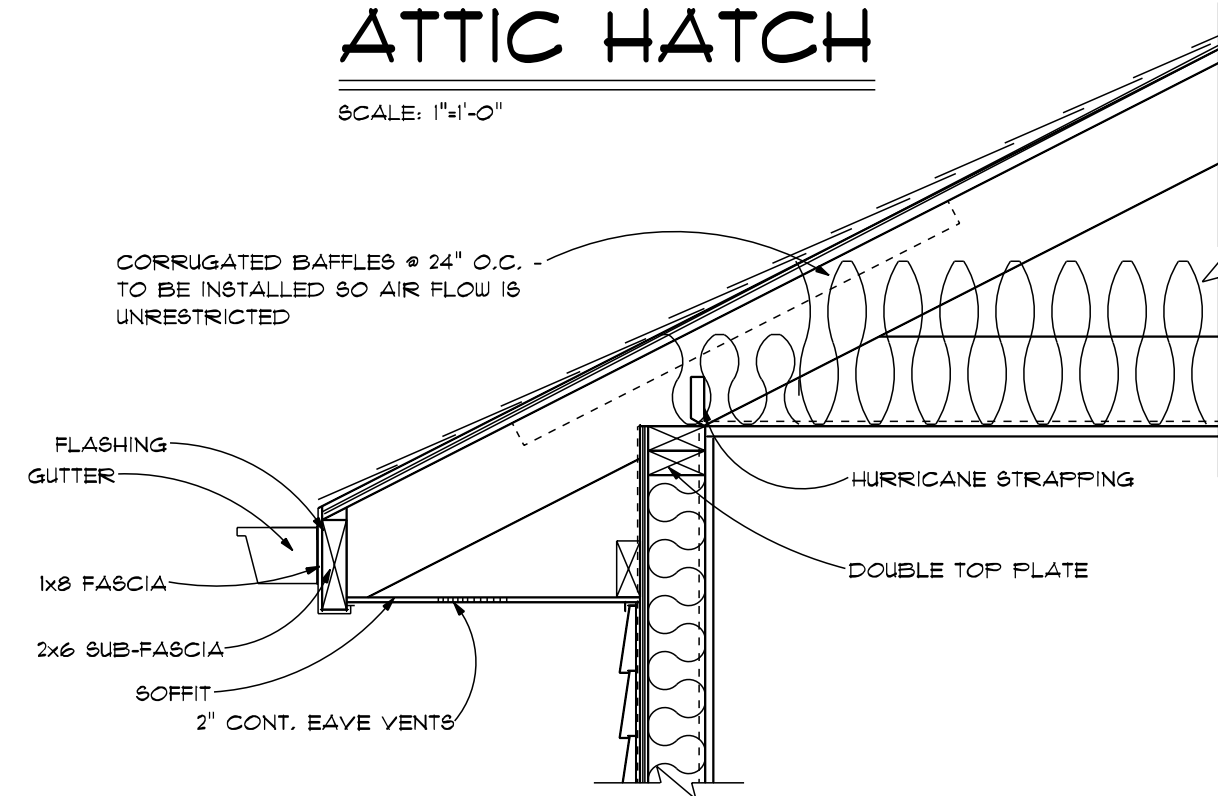
NAME	AREA
SECOND LEVEL	1047 sq. ft.

- GENERAL NOTES:
1. ALL SECOND LEVEL WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
 2. ALL ANGLED WALLS ARE 45 DEG. UNLESS NOTED OTHERWISE
 3. ALL EXTERIOR WALLS ARE 4" (3 1/2" STUD-1/2" SHEATHING)
 4. ALL INTERIOR WALLS ARE 3 1/2" UNLESS NOTED OTHERWISE



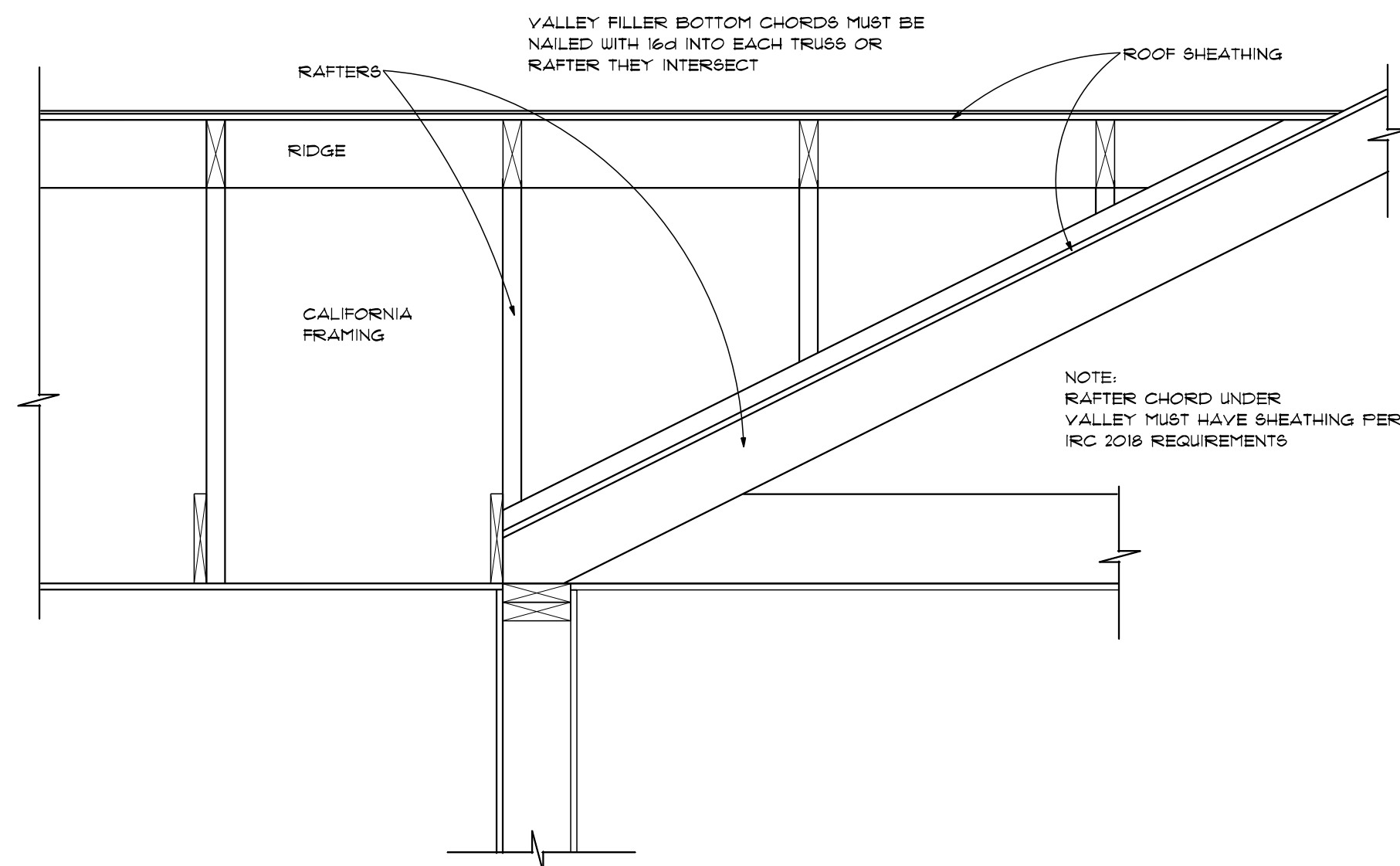
ATTIC HATCH

SCALE: 1/4" = 1'-0"



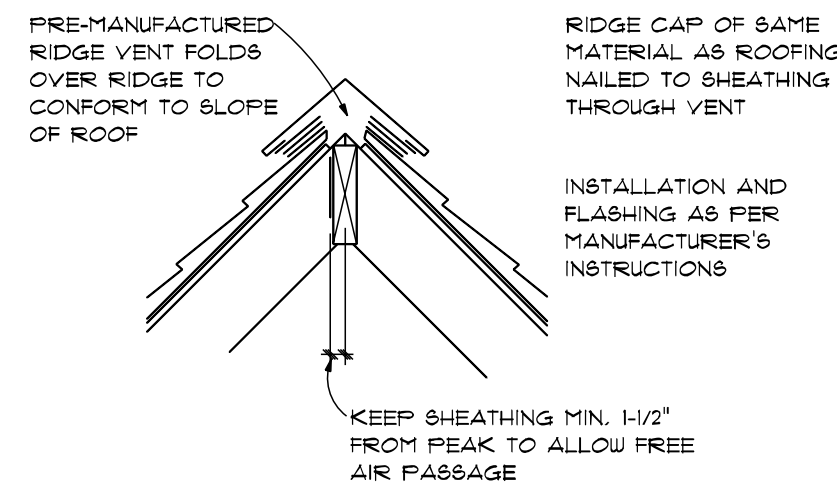
EAVE VENT

SCALE: 1/4" = 1'-0"



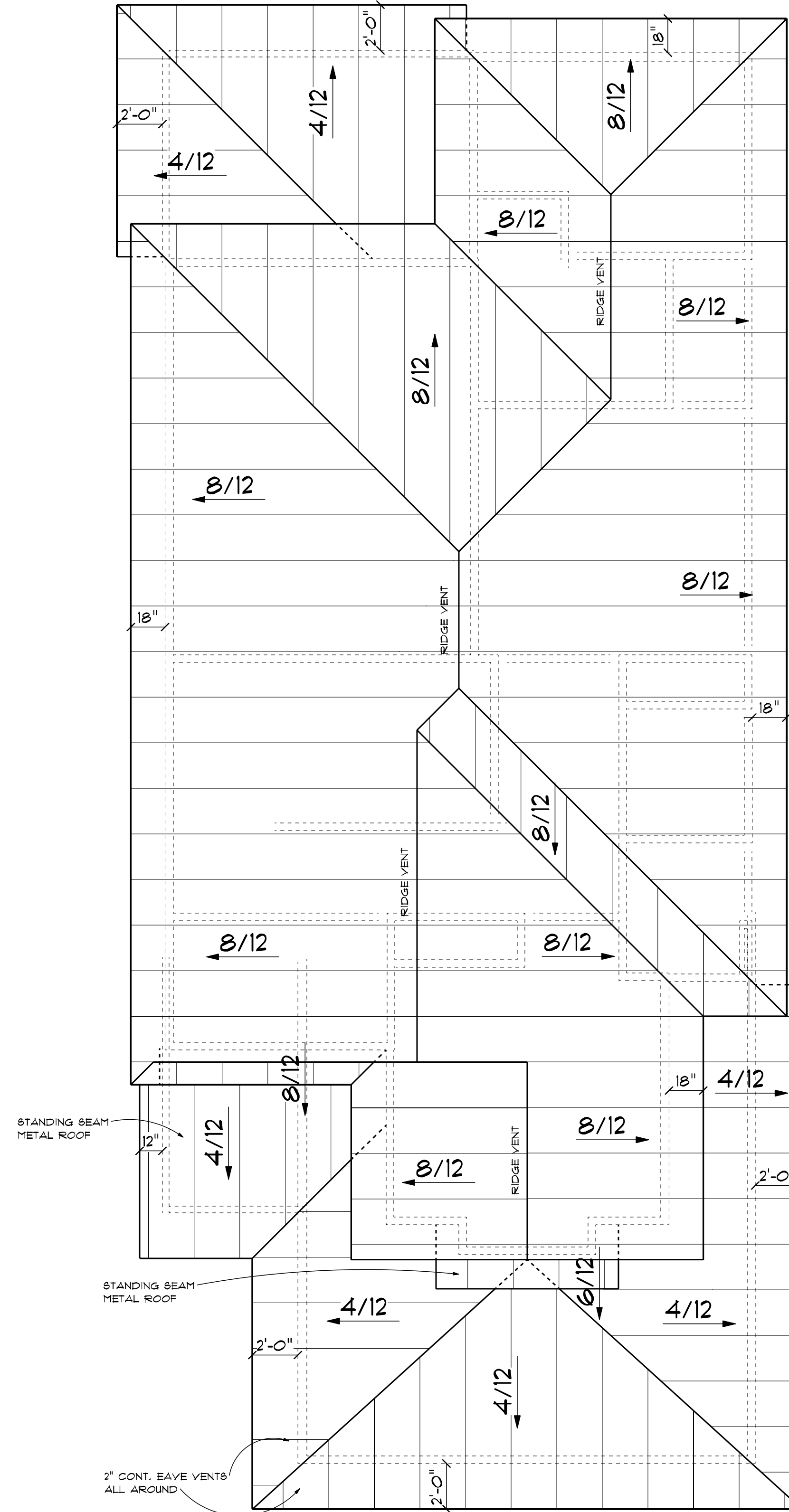
ROOF OVERFRAMING

SCALE: 1/4" = 1'-0"



RIDGE VENT

SCALE: 1/4" = 1'-0"



ROOF PLAN

SCALE: 1/4" = 1'-0"



PRELIM
FINAL
11/11/2024
REVISION

Newberry
2x4 Slab



ADVANCED
HOUSE PLANS
ADVANCEDHOUSEPLANS.COM

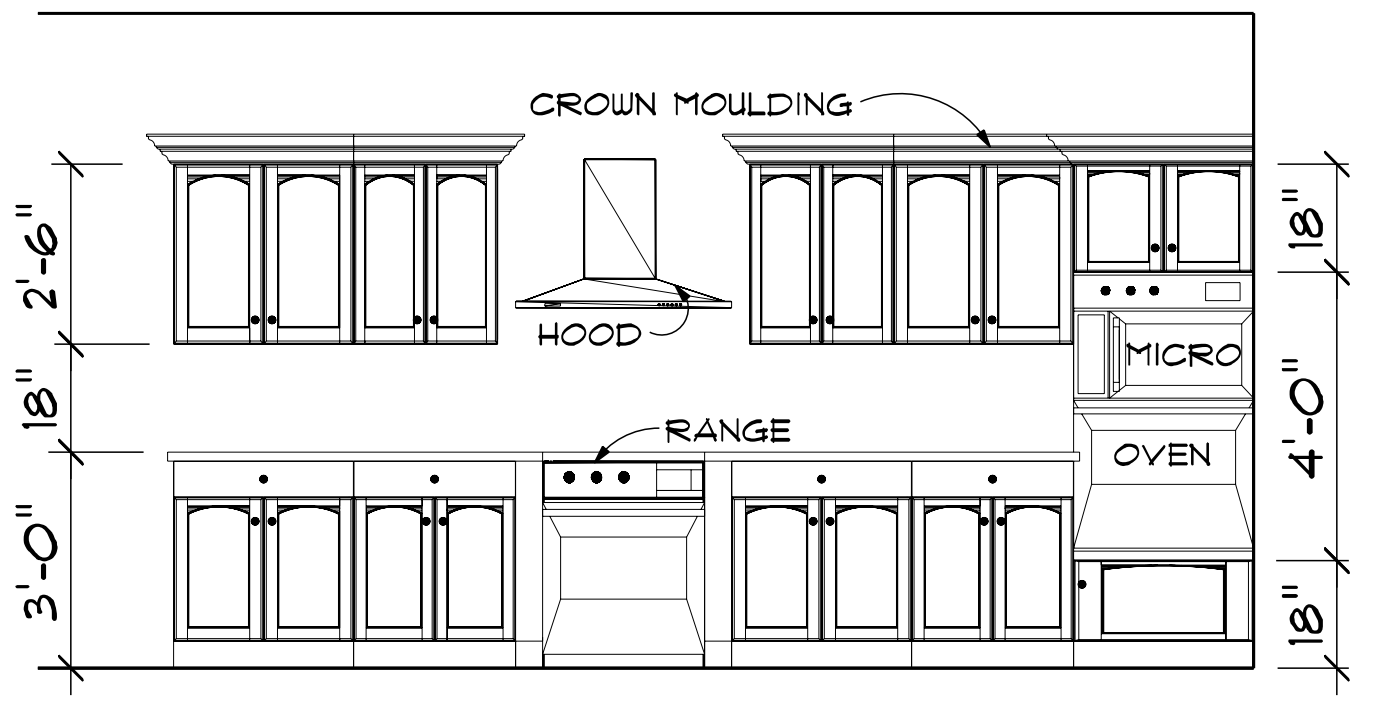
ADVANCED HOUSE PLANS IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATED IN CHANDLER, ARIZONA. WE BECAUSE SITE CONDITIONS VARY, AND CANOPY DIMENSIONS FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE CONSULTATION OF AN ARCHITECT OR ENGINEER. ALL DIMENSIONS, MATERIALS, FINISHES, AND CODES ARE SUBJECT TO CHANGE WITHOUT NOTICE. THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS PRIOR TO CONSTRUCTION. THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS PRIOR TO CONSTRUCTION. THE PURCHASER OF THESE PLANS IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS PRIOR TO CONSTRUCTION.

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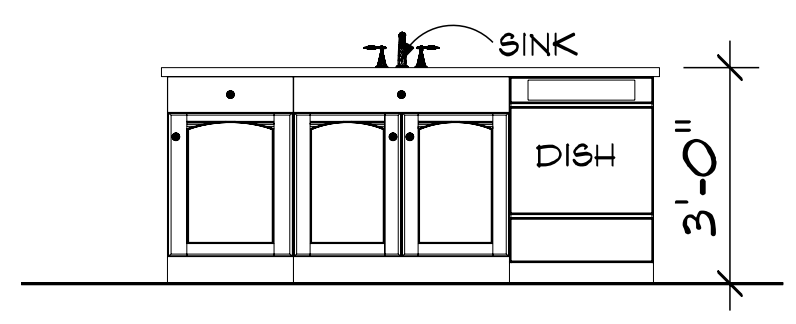
29311

SHEET
6
1 OF 1

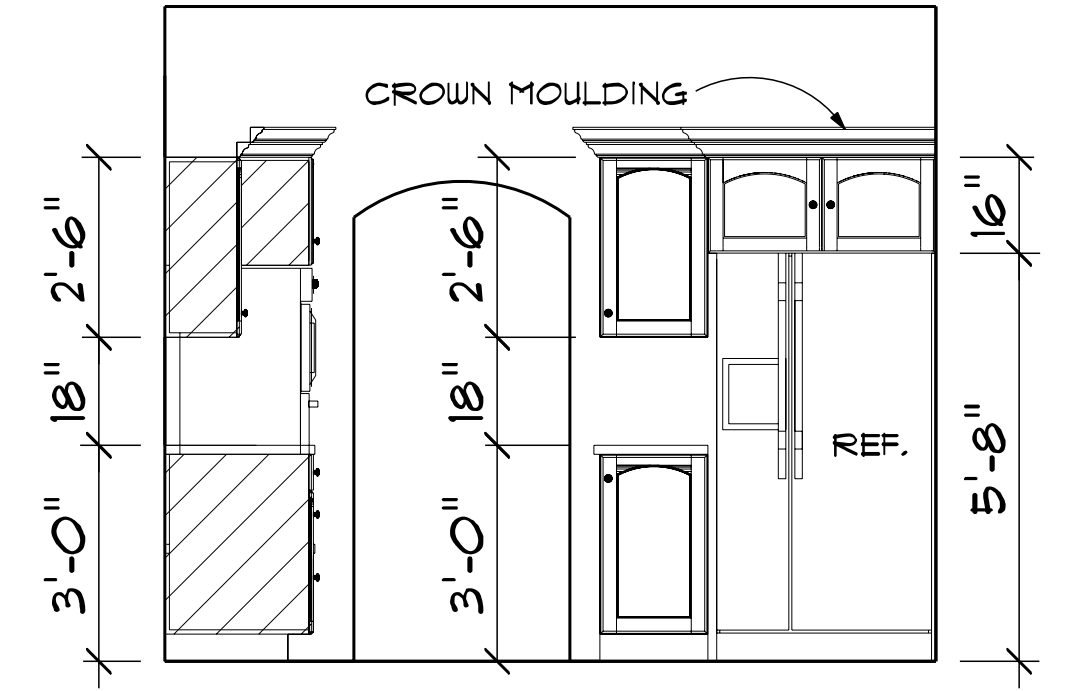
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DETAIL 1



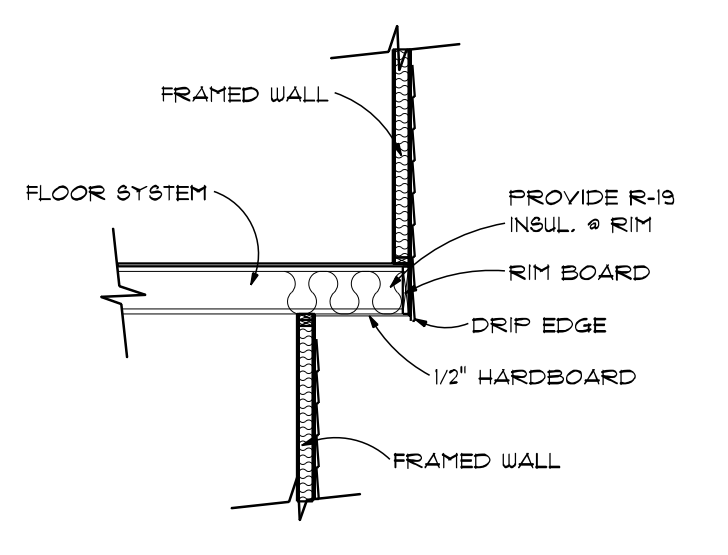
DETAIL 2



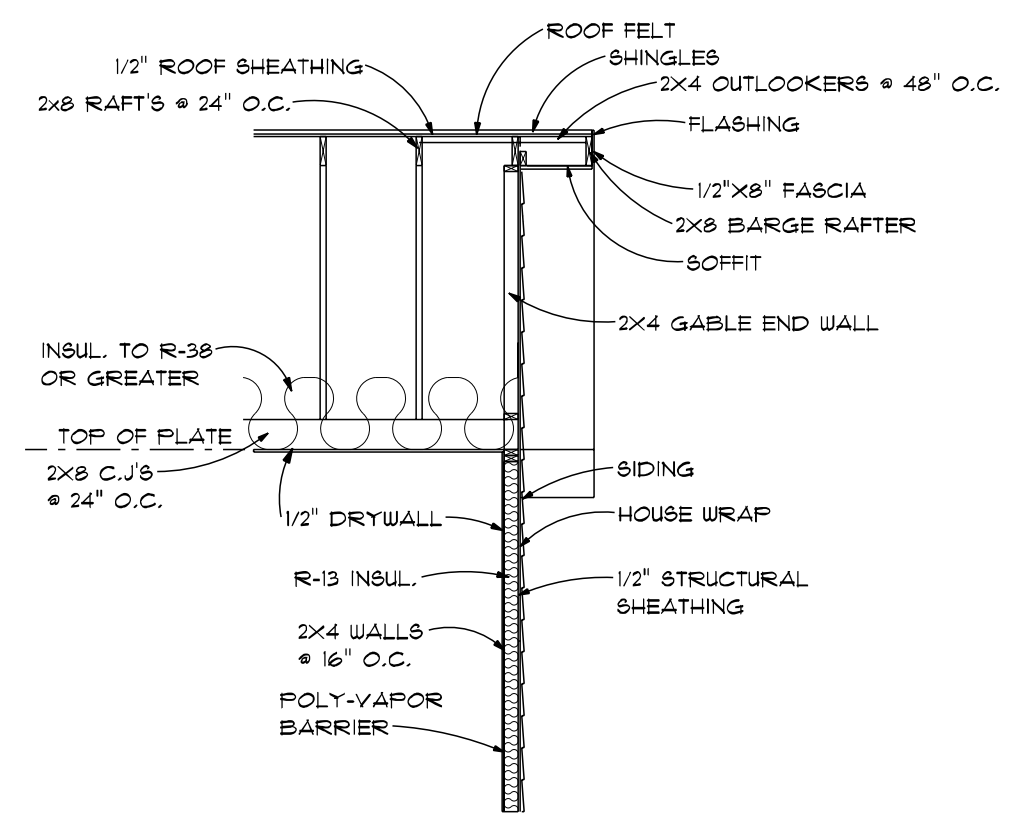
DETAIL 3

CABINET ELEVATIONS

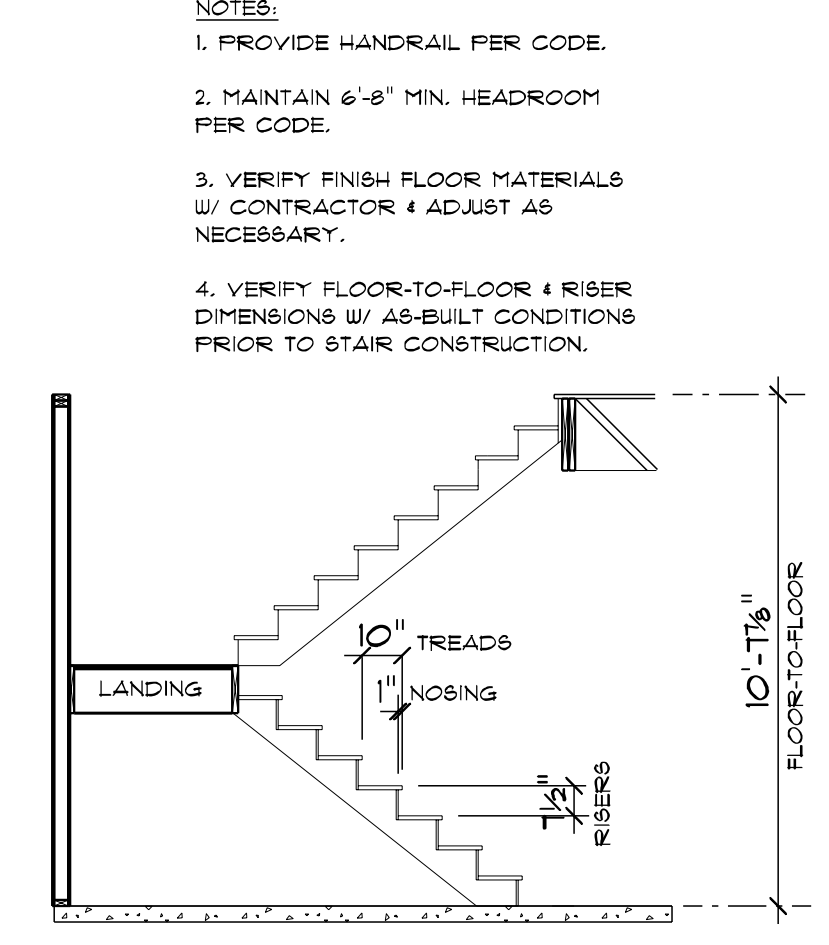
SCALE: 3/8" = 1'-0"



TYP. CANTILEVER
SCALE: 1/4" = 1'-0"

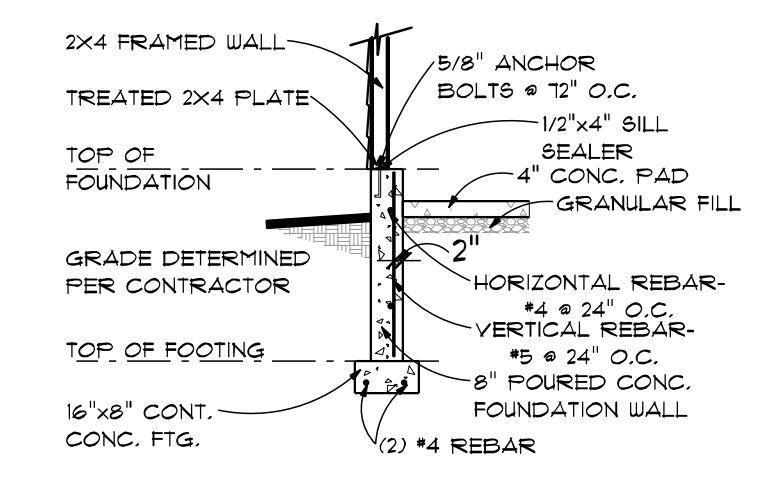


TYP. GABLE END SECTION
SCALE: 1/4" = 1'-0"

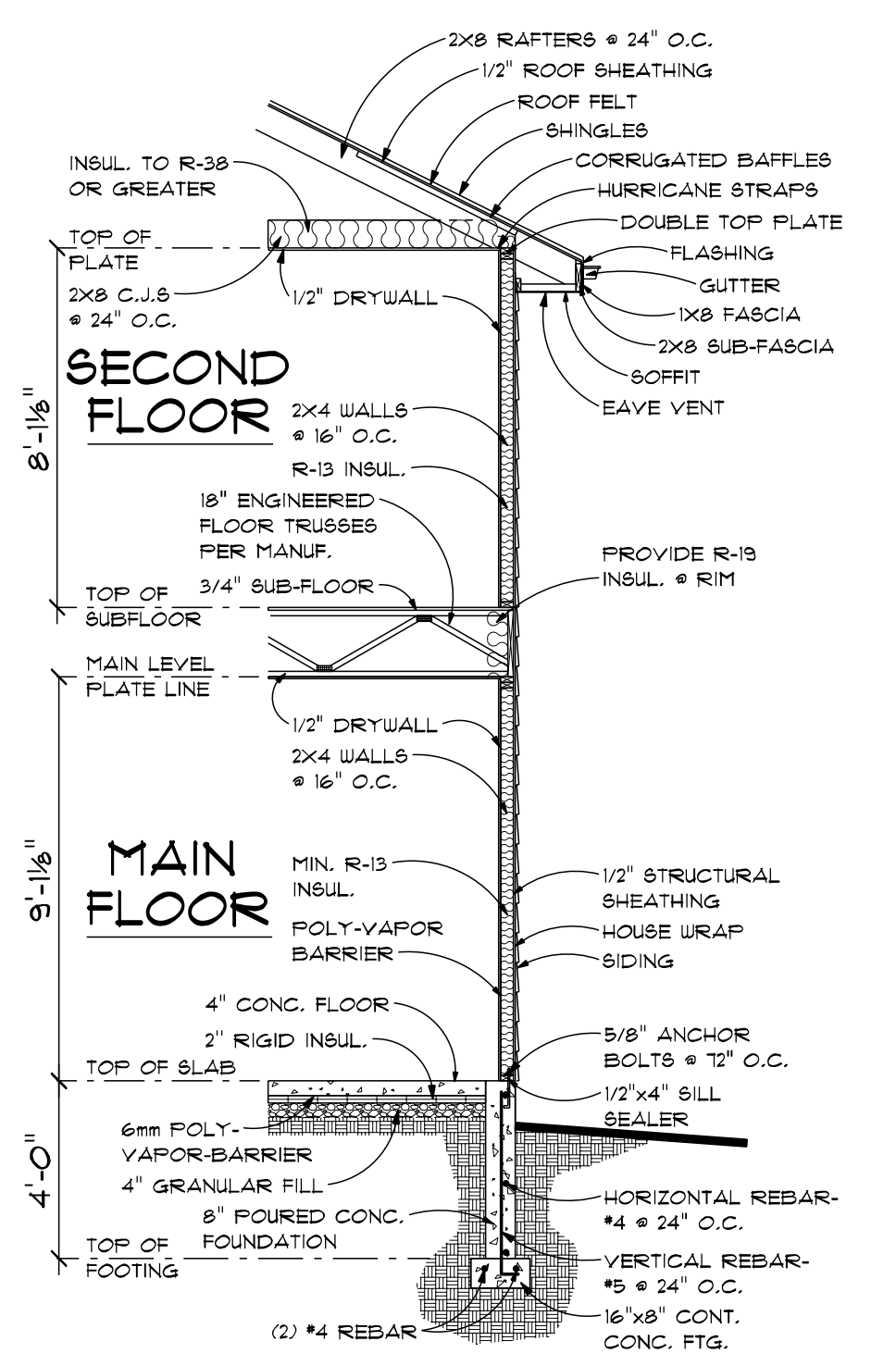


STAIR SECTION
SCALE: 1/4" = 1'-0"

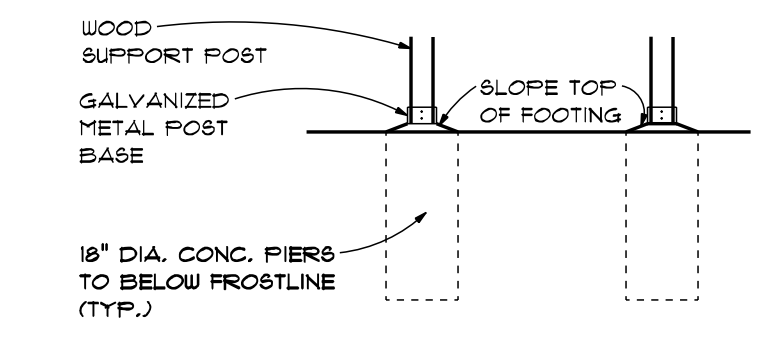
- NOTES:
1. PROVIDE HANDRAIL PER CODE.
 2. MAINTAIN 6'-8" MIN. HEADROOM PER CODE.
 3. VERIFY FINISH FLOOR MATERIALS w/ CONTRACTOR & ADJUST AS NECESSARY.
 4. VERIFY FLOOR-TO-FLOOR & RISER DIMENSIONS w/ AS-BUILT CONDITIONS PRIOR TO STAIR CONSTRUCTION.



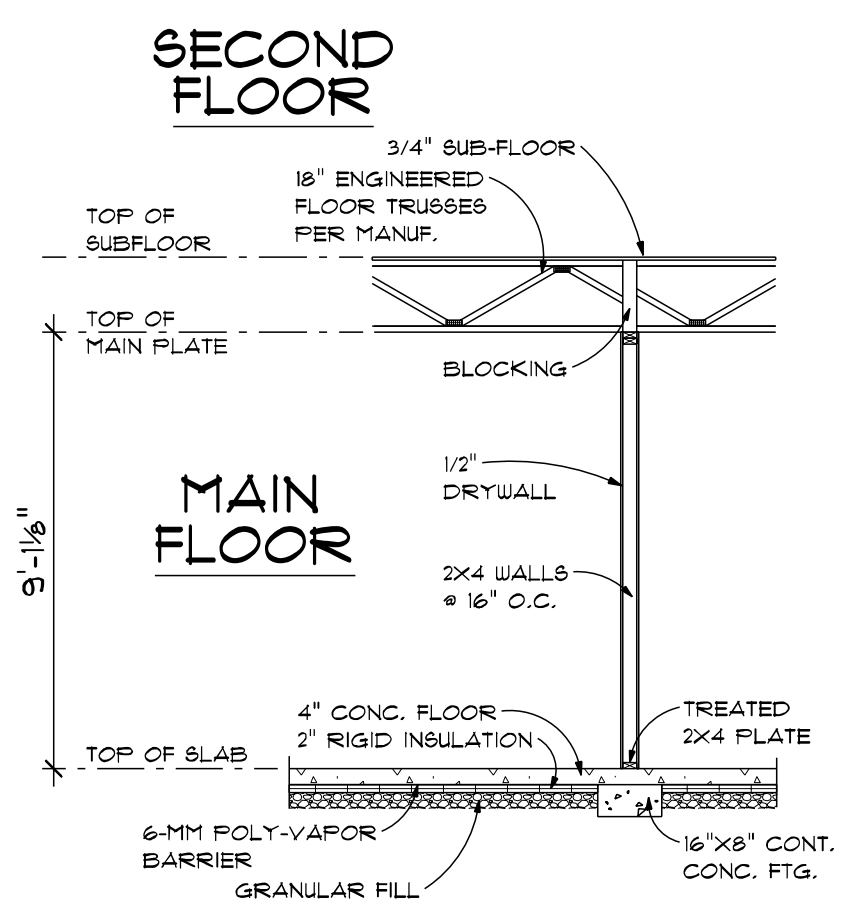
TYP. GARAGE WALL
SCALE: 1/4" = 1'-0"



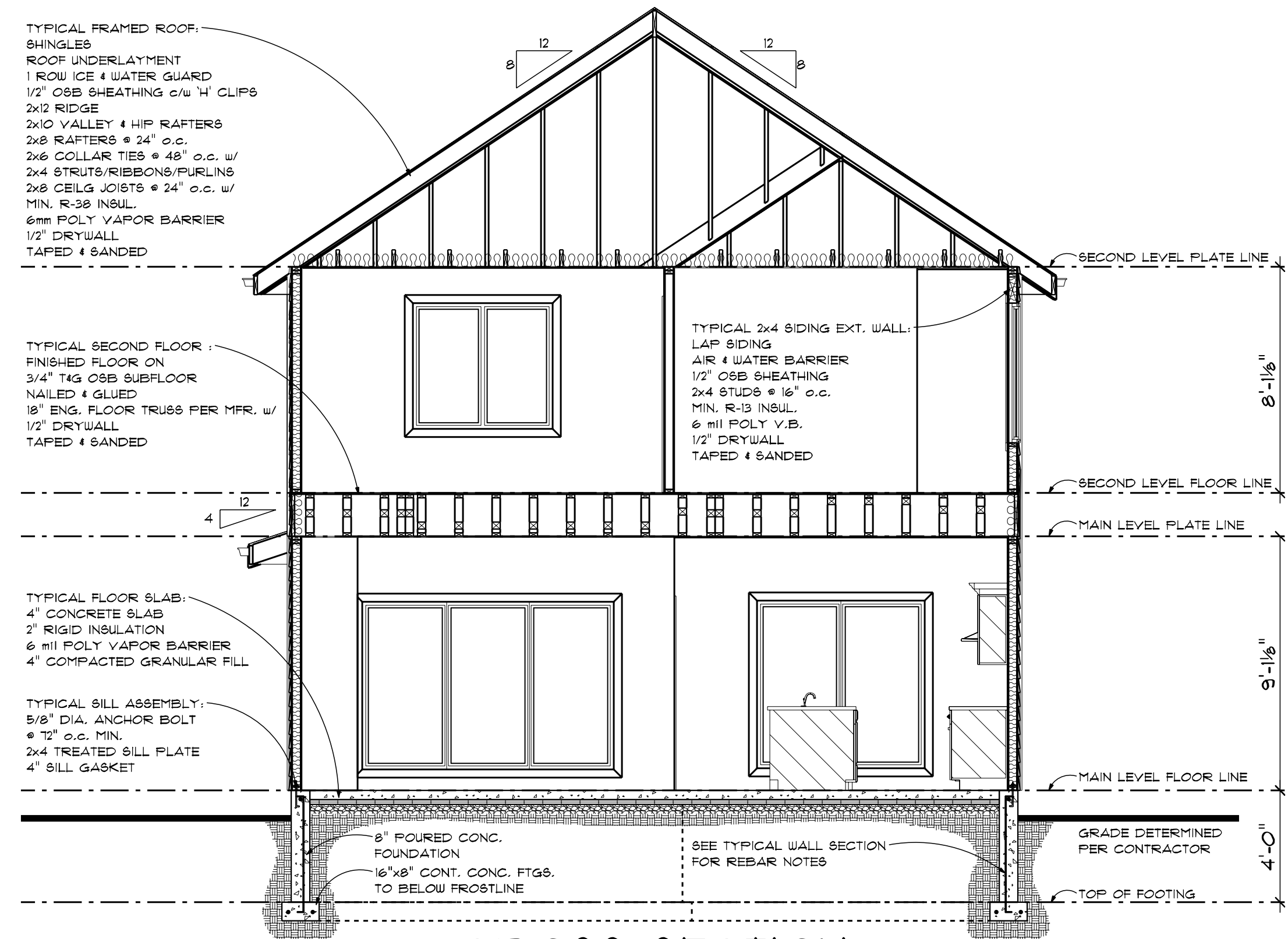
TYP. WALL SECTION
SCALE: 1/4" = 1'-0"



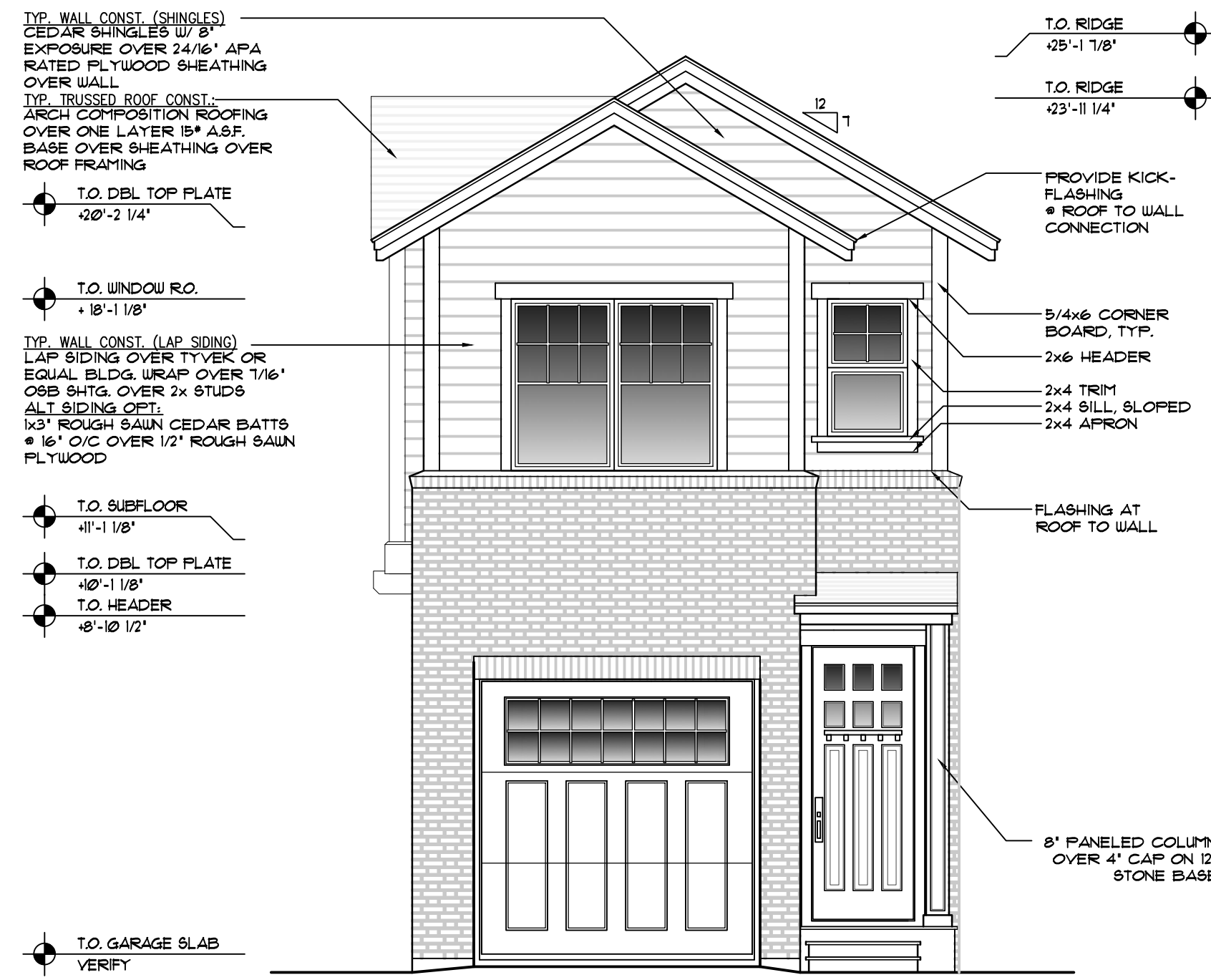
POST FOOTING DETAIL
SCALE: 1/4" = 1'-0"



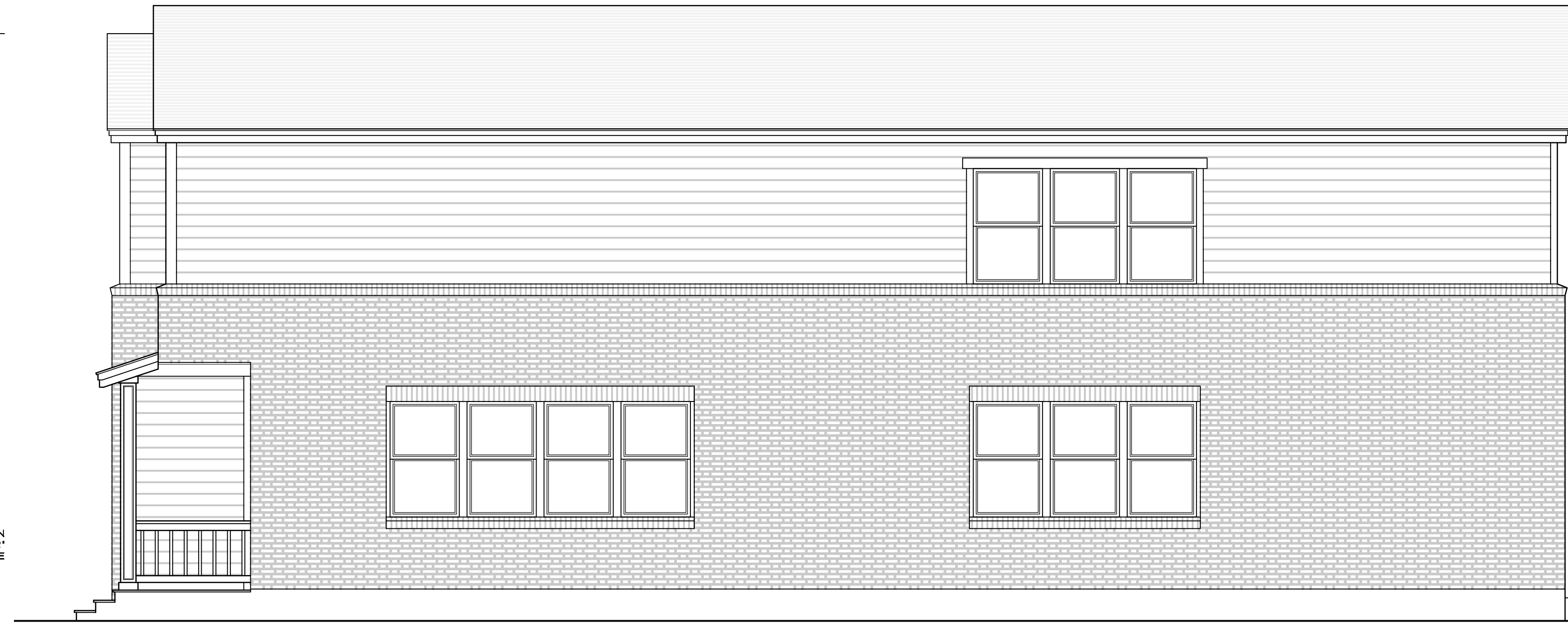
TYP. 2X4 BEARING WALL
SCALE: 1/4" = 1'-0"



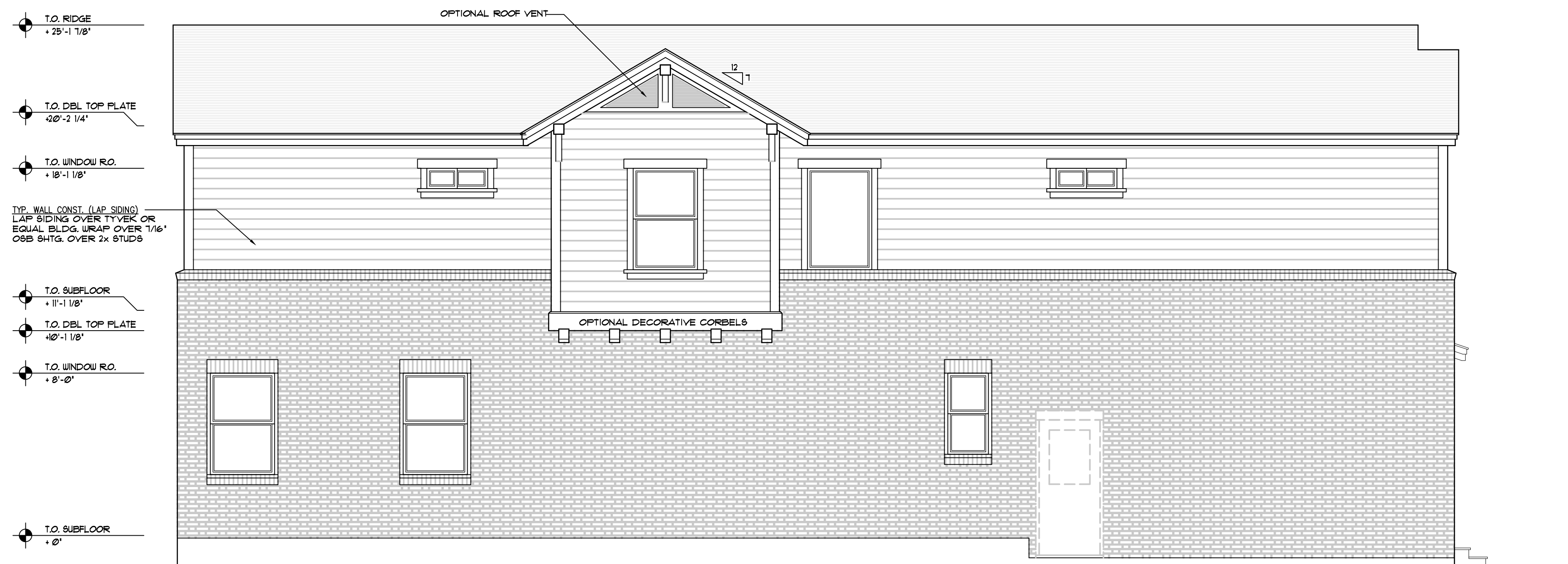
CROSS SECTION
SCALE: 1/4" = 1'-0"



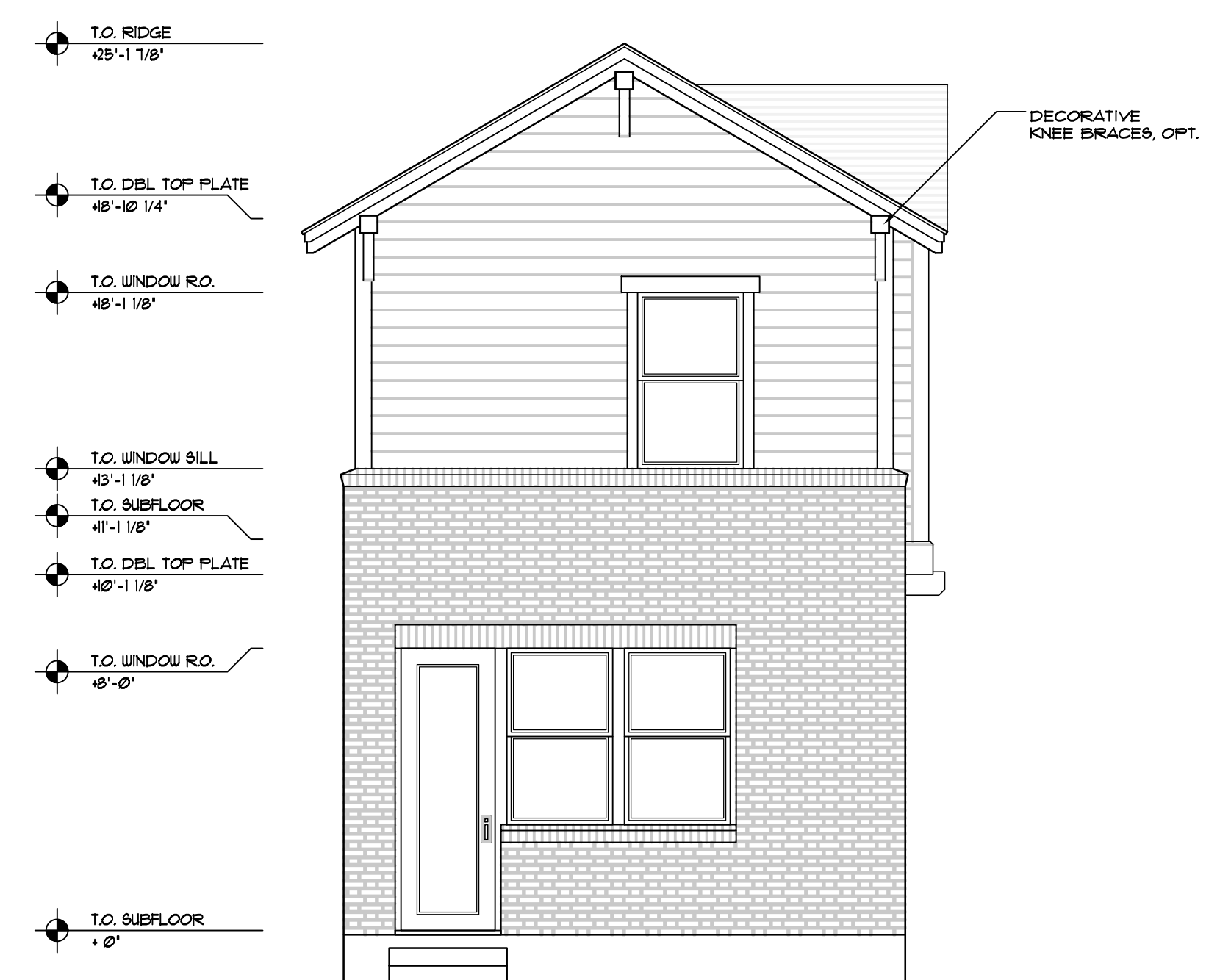
FRONT ELEVATION
 SCALE: 1/4"=1'-0"



RIGHT ELEVATION
 SCALE: 1/4"=1'-0"



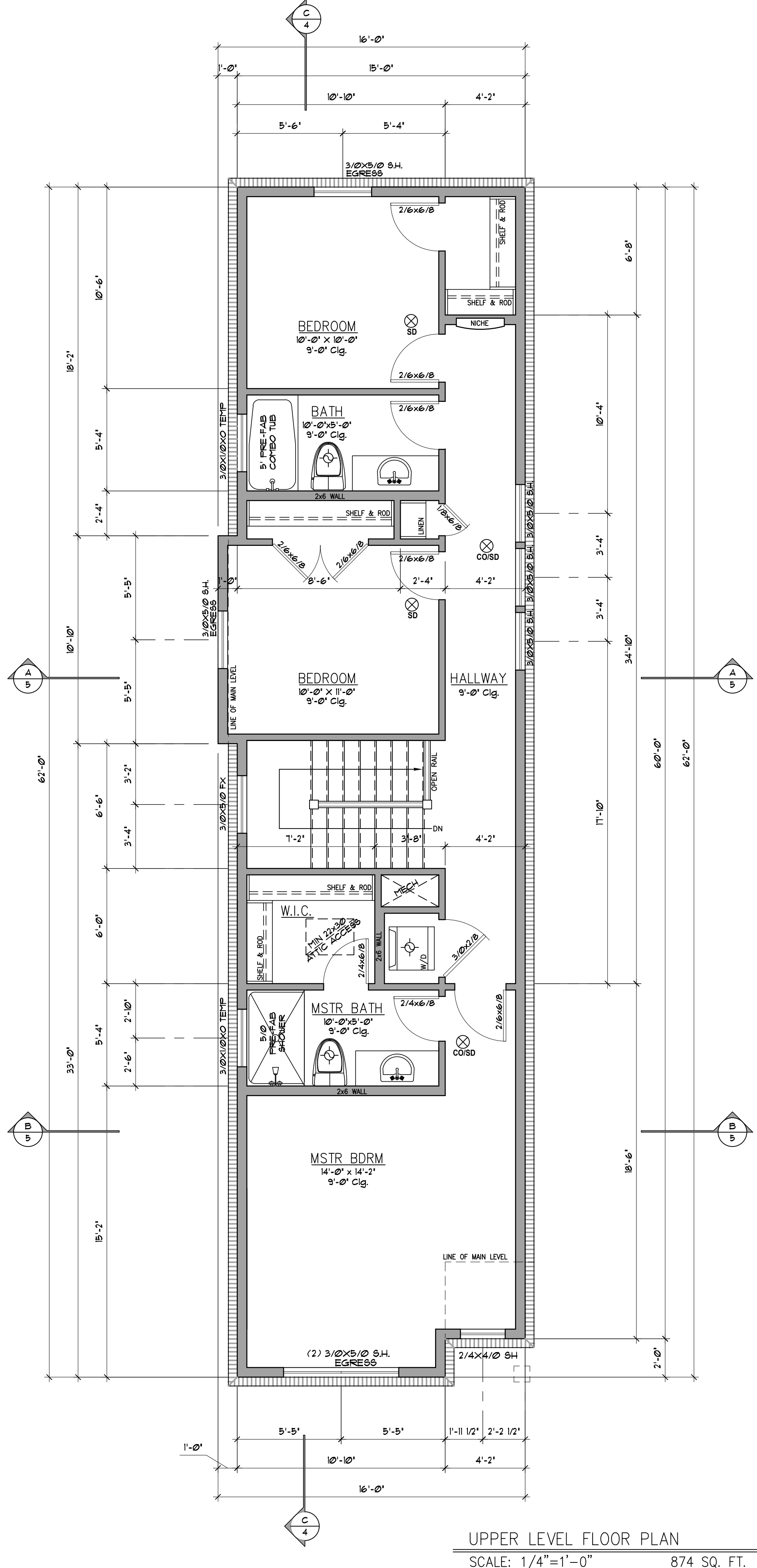
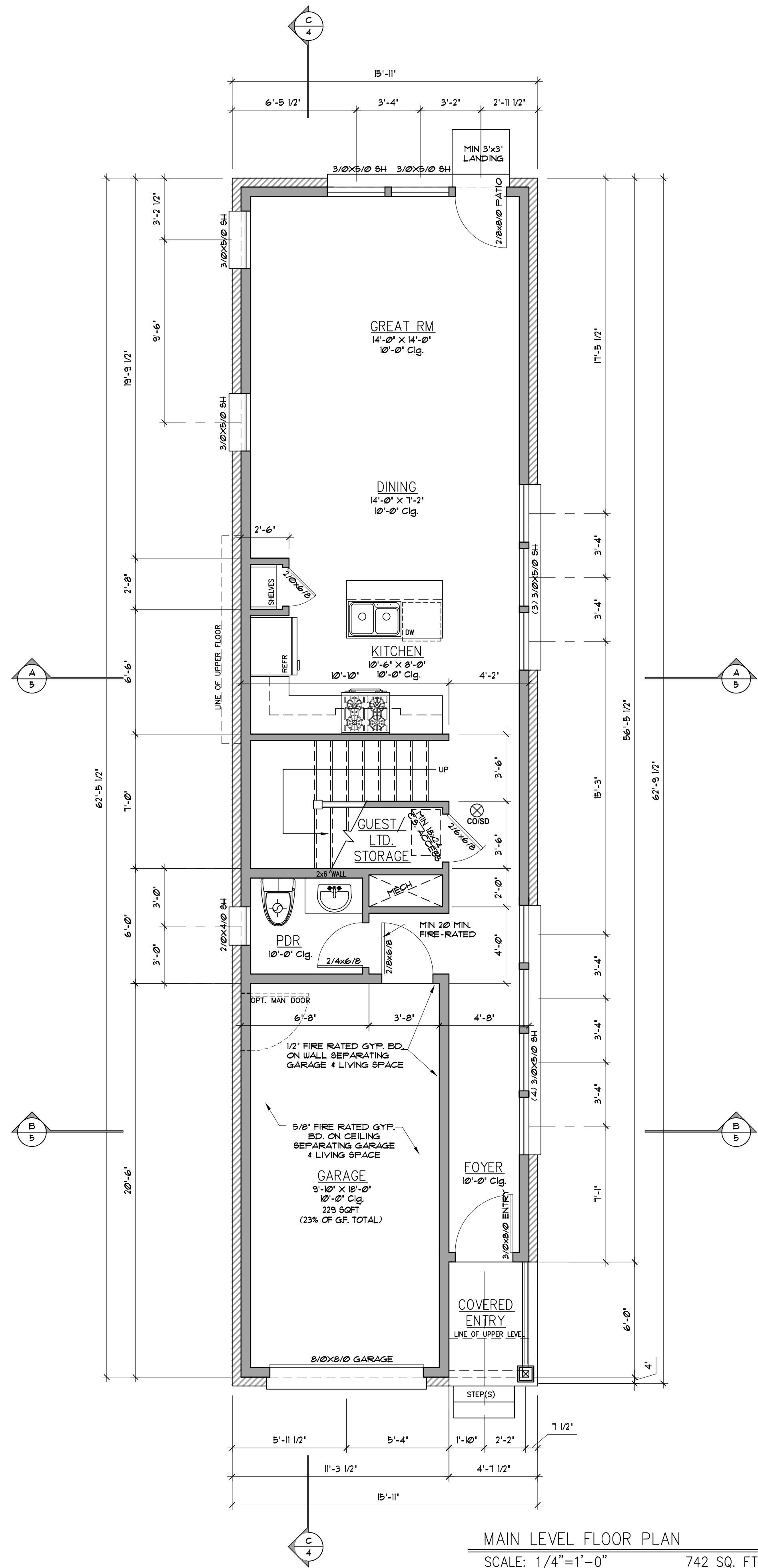
LEFT ELEVATION
 SCALE: 1/4"=1'-0"



REAR ELEVATION
 SCALE: 1/4"=1'-0"

THESE PLANS HAVE BEEN LICENSED FOR
 THE CONSTRUCTION OF ONE BUILDING
 ONLY. UNAUTHORIZED USE OR COPYING
 OF THE PLANS, OR THE DESIGN THEY
 DEPICT, INFRINGES RIGHTS UNDER THE
 COPYRIGHT ACT THAT INCLUDE
 PENALTIES OF UP TO \$100,000 PER
 WORK WILLFULLY INFRINGED. THESE
 PLANS HAVE BEEN PREPARED TO MEET
 IRC BUILDING CODES AND MAY REQUIRE
 ADAPTATION TO MEET SPECIFIC SITE
 CONDITIONS AND LOCAL BUILDING
 REGULATIONS. IT IS THE CONTRACTOR'S
 SOLE RESPONSIBILITY TO VERIFY ALL
 DIMENSIONS AND DETAILS PRIOR TO
 CONSTRUCTION FOR ERRORS AND
 OMISSIONS. PLEASE SEE YOUR LICENSE
 AGREEMENT FOR FURTHER INFORMATION.

PLAN NAME: ROSEMONT
 DATE: 08/08



ELECTRICAL LEGEND	
	COMBO CARBON MONOXIDE/SMOKE DETECTOR
	SMOKE DETECTOR
	EXHAUST FAN

ROSEMONT

PLAN NUMBER 82508 1,564 TOTAL SQUARE FEET

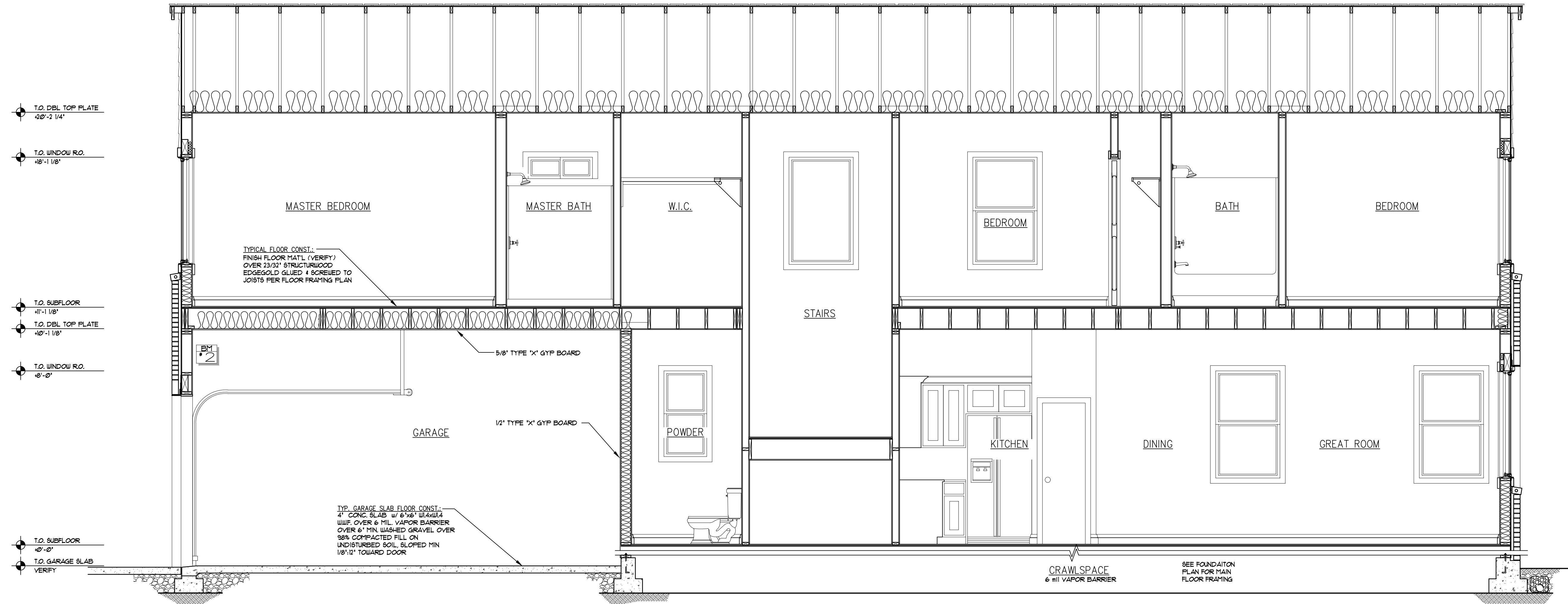
THESE PLANS HAVE BEEN LICENSED FOR THE CONSTRUCTION OF ONE BUILDING ONLY. UNAUTHORIZED USE OR COPYING OF THE PLANS, OR THE DESIGN THEY DEPICT, INFRINGES RIGHTS UNDER THE COPYRIGHT ACT THAT INCLUDE PENALTIES OF UP TO \$100,000 PER WORK WILLFULLY INFRINGED. THESE PLANS HAVE BEEN PREPARED TO MEET IRC BUILDING CODES AND MAY REQUIRE ADAPTATION TO MEET SPECIFIC SITE CONDITIONS AND LOCAL BUILDING REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION FOR ERRORS AND OMISSIONS. PLEASE SEE YOUR LICENSE AGREEMENT FOR FURTHER INFORMATION.

PLAN NAME: ROSEMONT
DATE: 08/08

ROSEMONT

PLAN NUMBER 82508

1,564 TOTAL SQUARE FEET



C SECTION
 4 SCALE: 3/8"=1'-0"

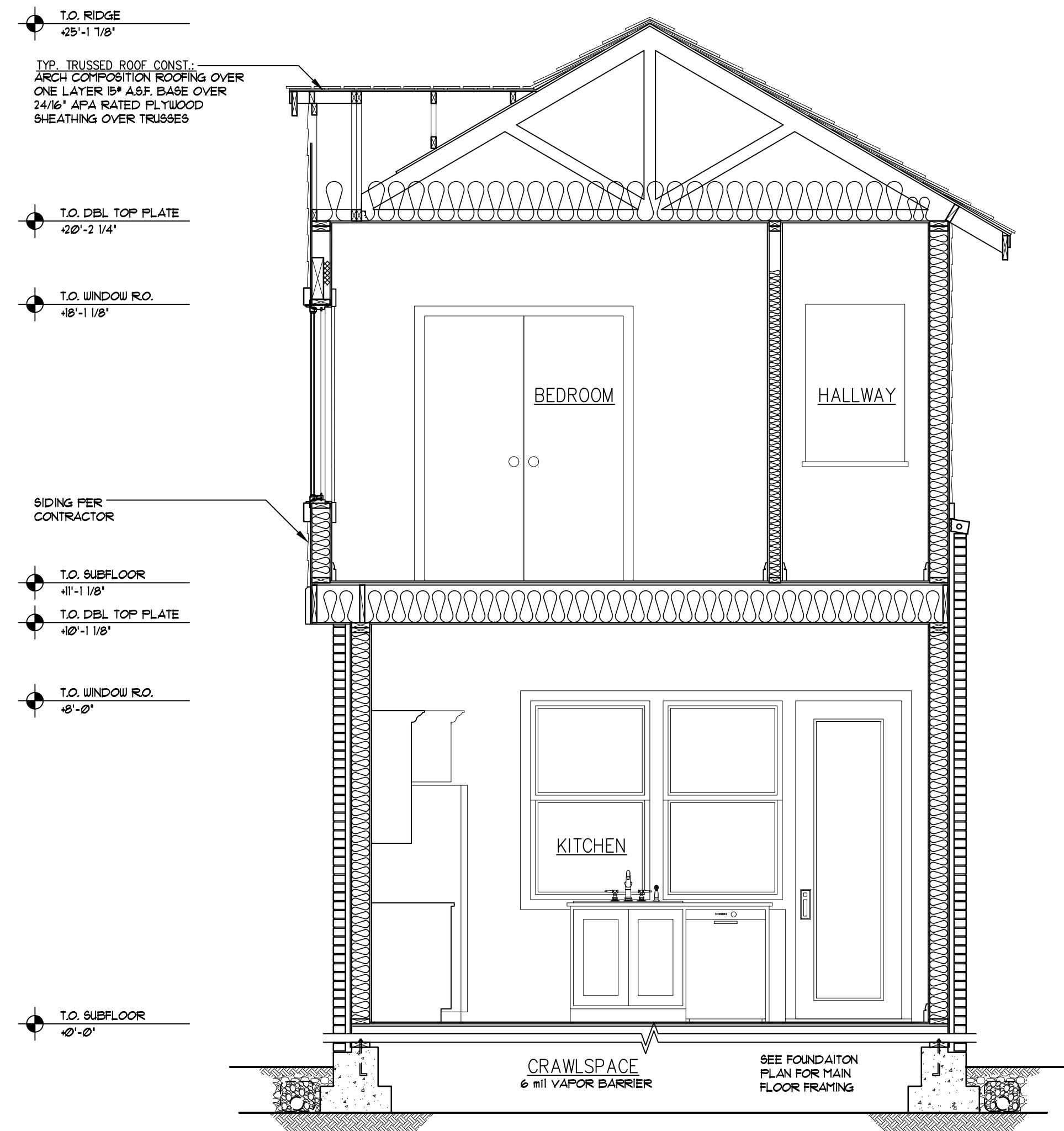
THESE PLANS HAVE BEEN LICENSED FOR
 THE CONSTRUCTION OF ONE BUILDING
 ONLY. UNAUTHORIZED USE OR COPYING
 OF THE PLANS, OR THE DESIGN THE
 DEPICT, INFRINGES RIGHTS UNDER THE
 COPYRIGHT ACT THAT INCLUDE
 PENALTIES OF UP TO \$100,000 PER
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PLAN
 NAME: ROSEMONT
 DATE: 08/08

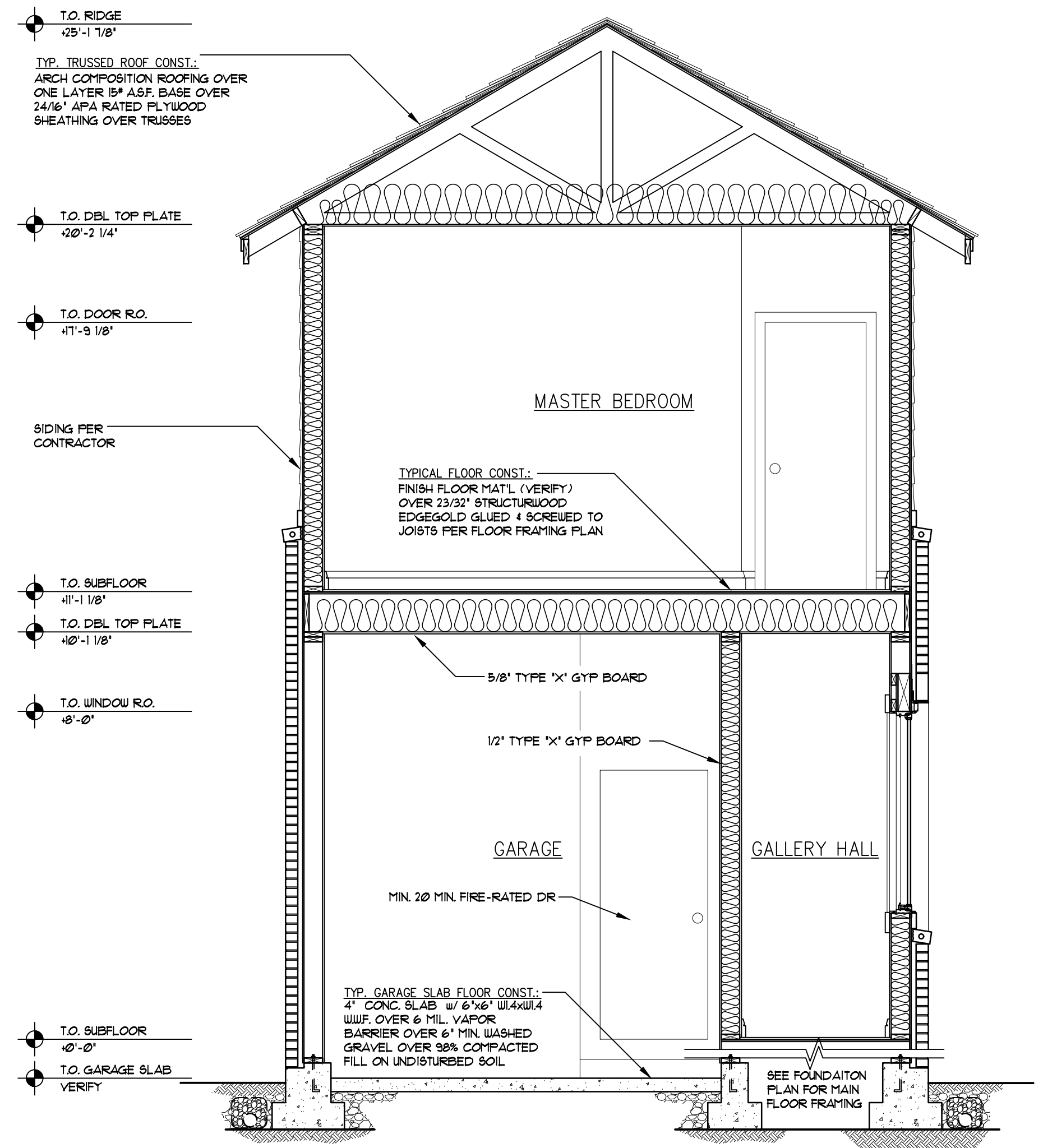
ROSEMONT

PLAN NUMBER 82508

1,564 TOTAL SQUARE FEET



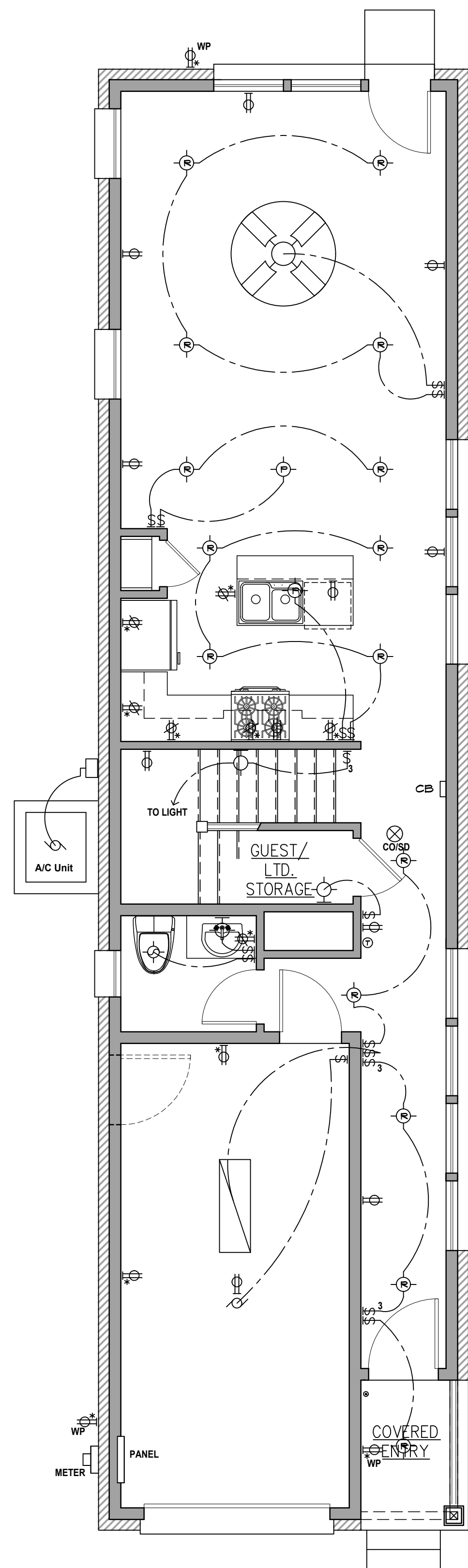
A SECTION
5 SCALE: 3/8"=1'-0"



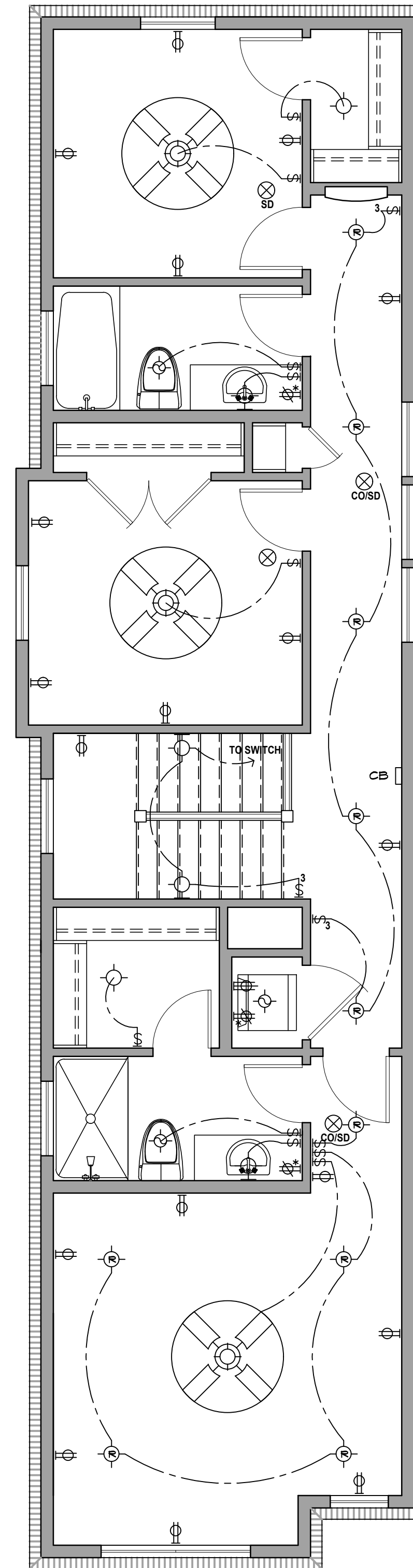
B SECTION
5 SCALE: 3/8"=1'-0"

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PLAN NAME: ROSEMONT
DATE: 08/08



MAIN LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0" 742 SQ. FT.



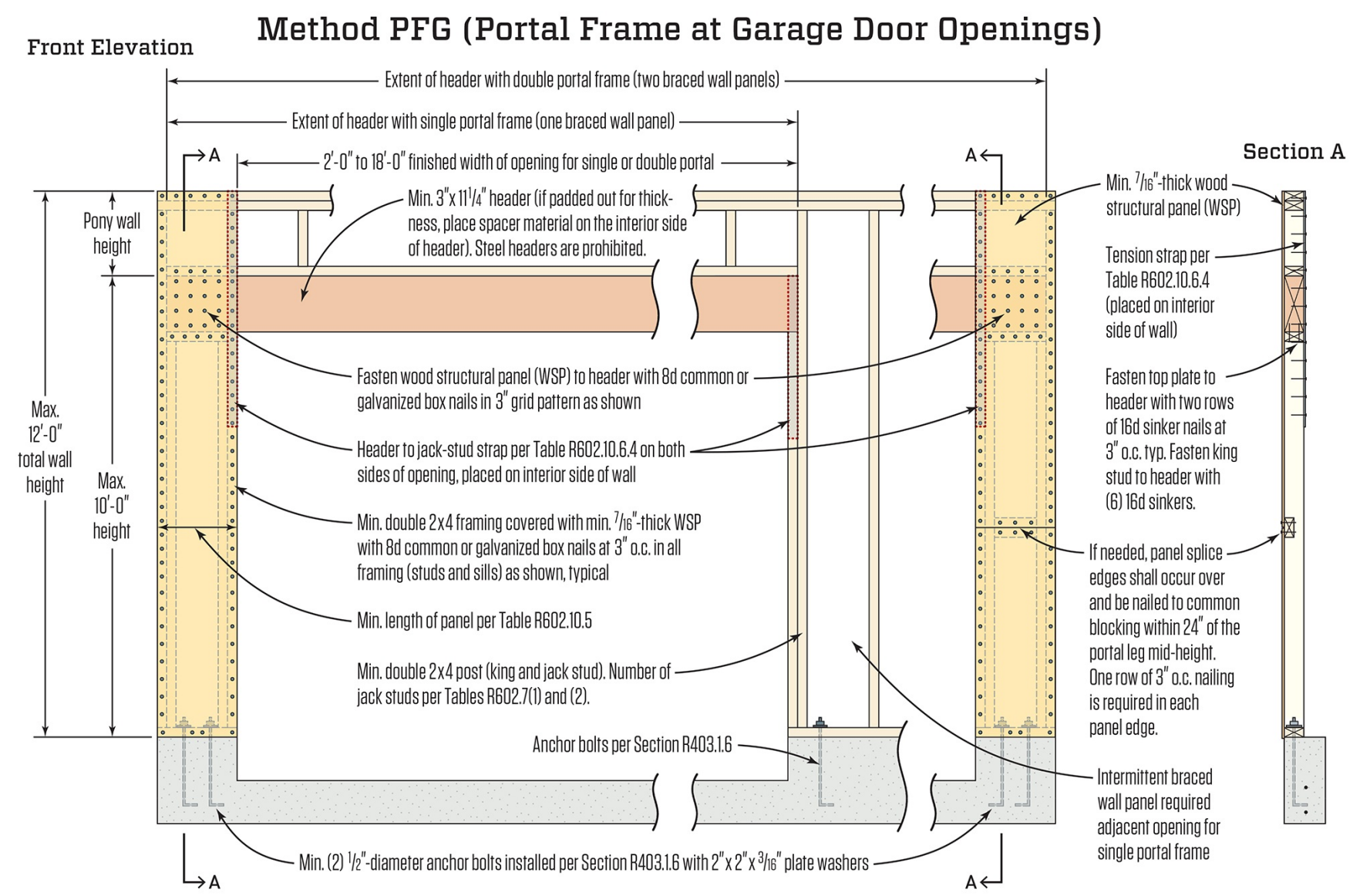
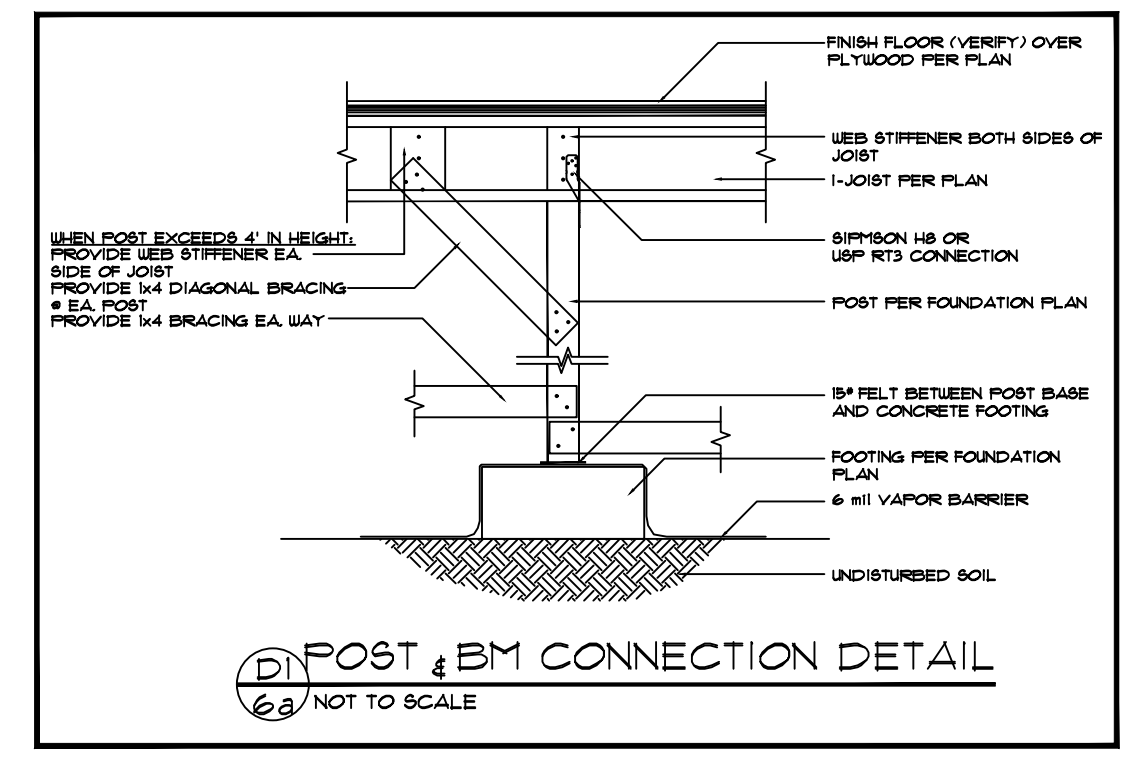
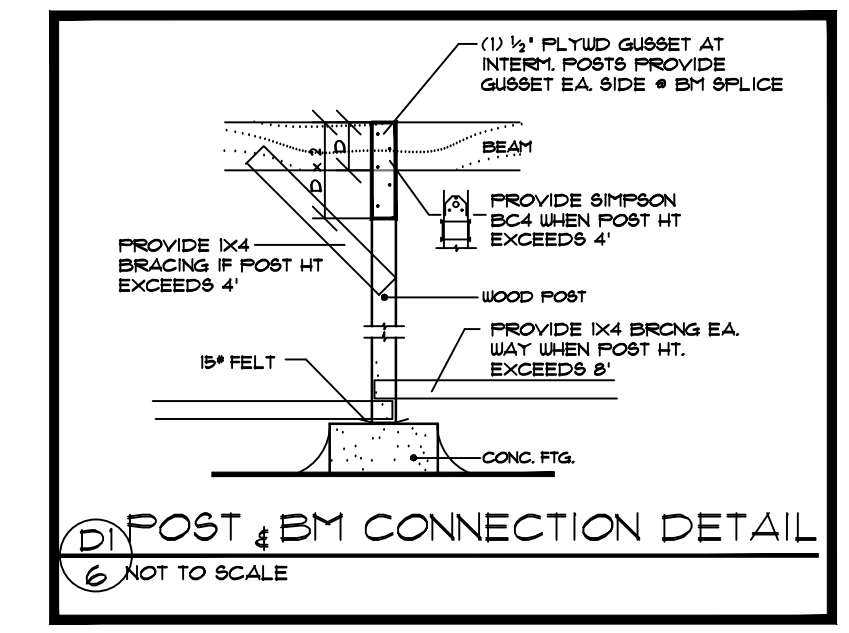
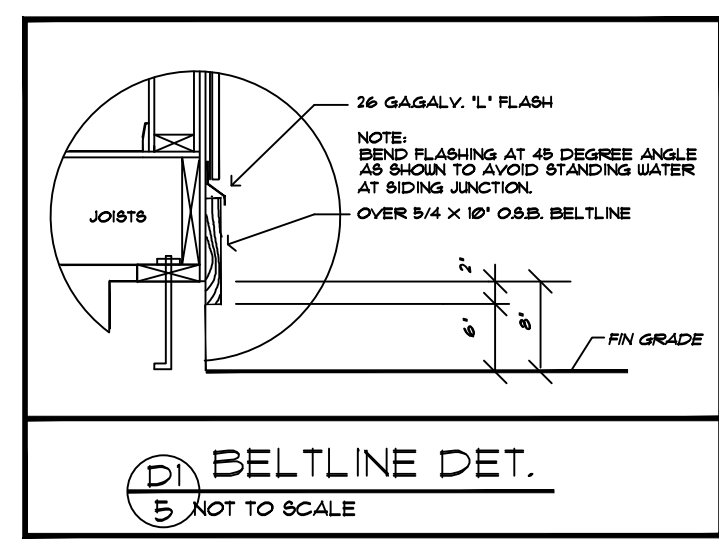
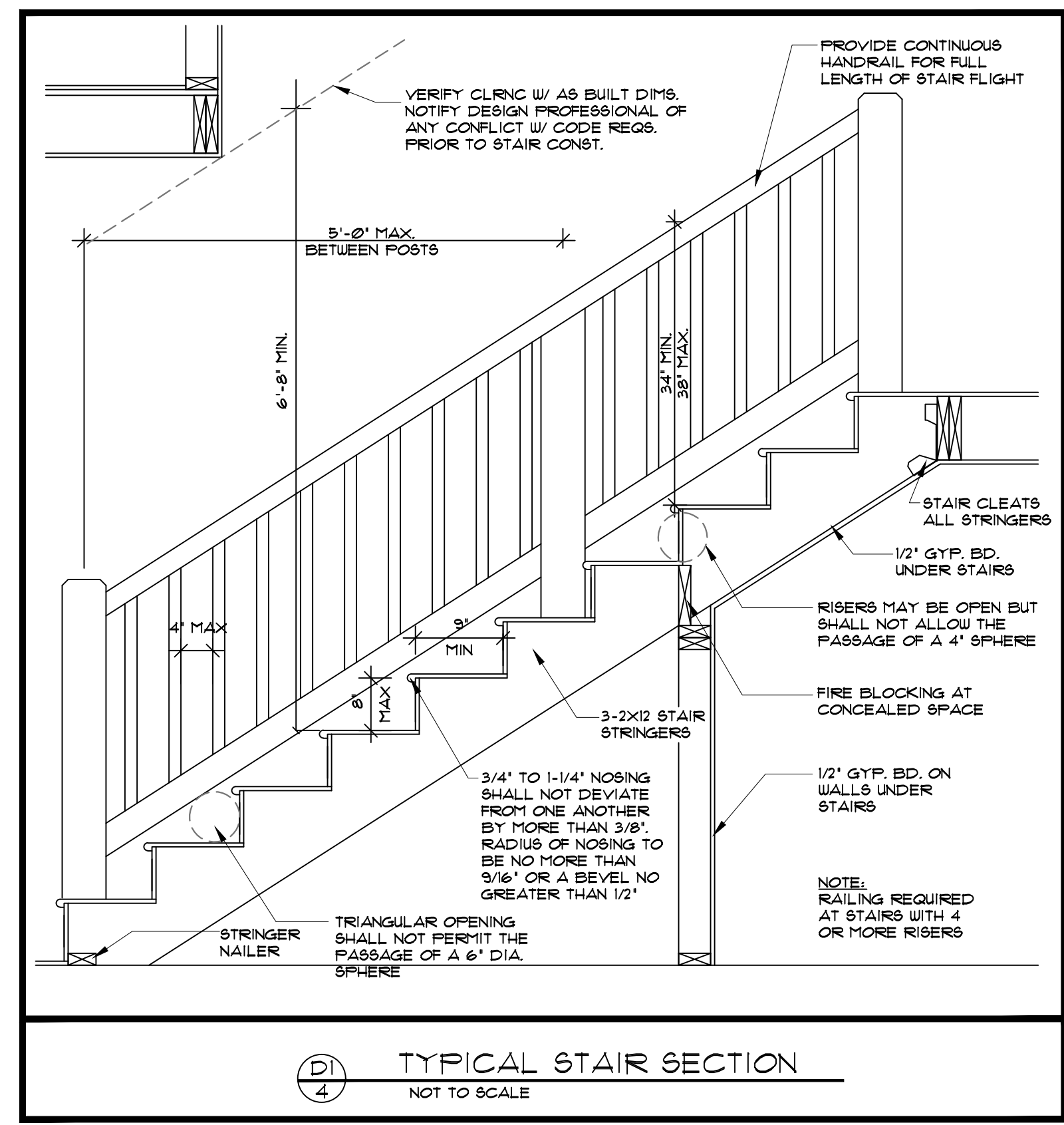
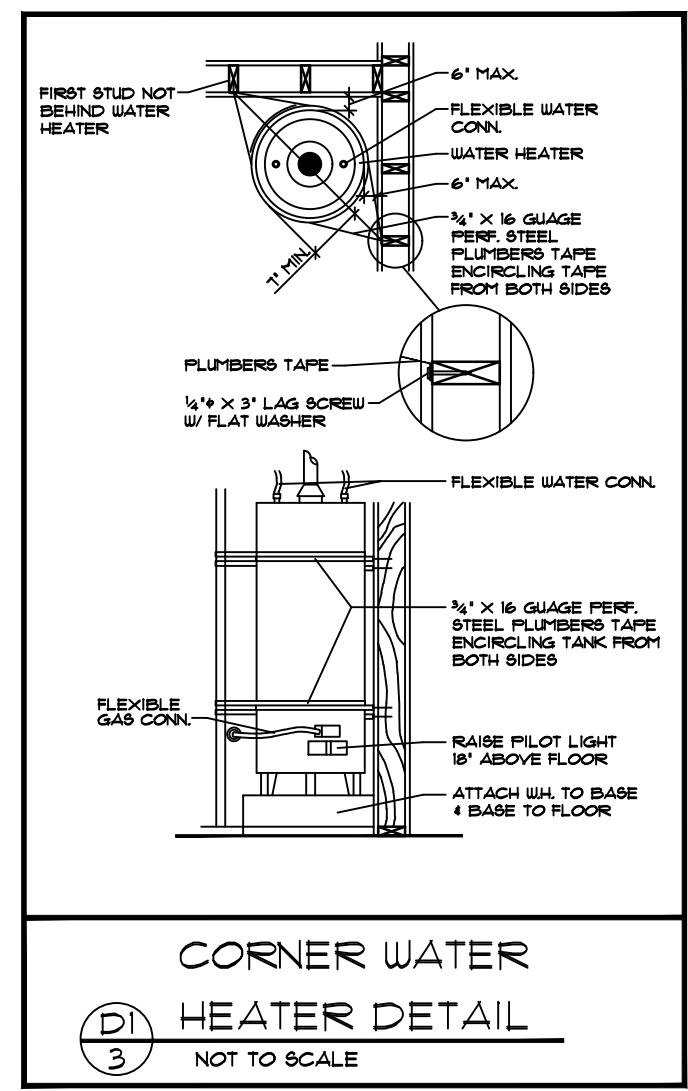
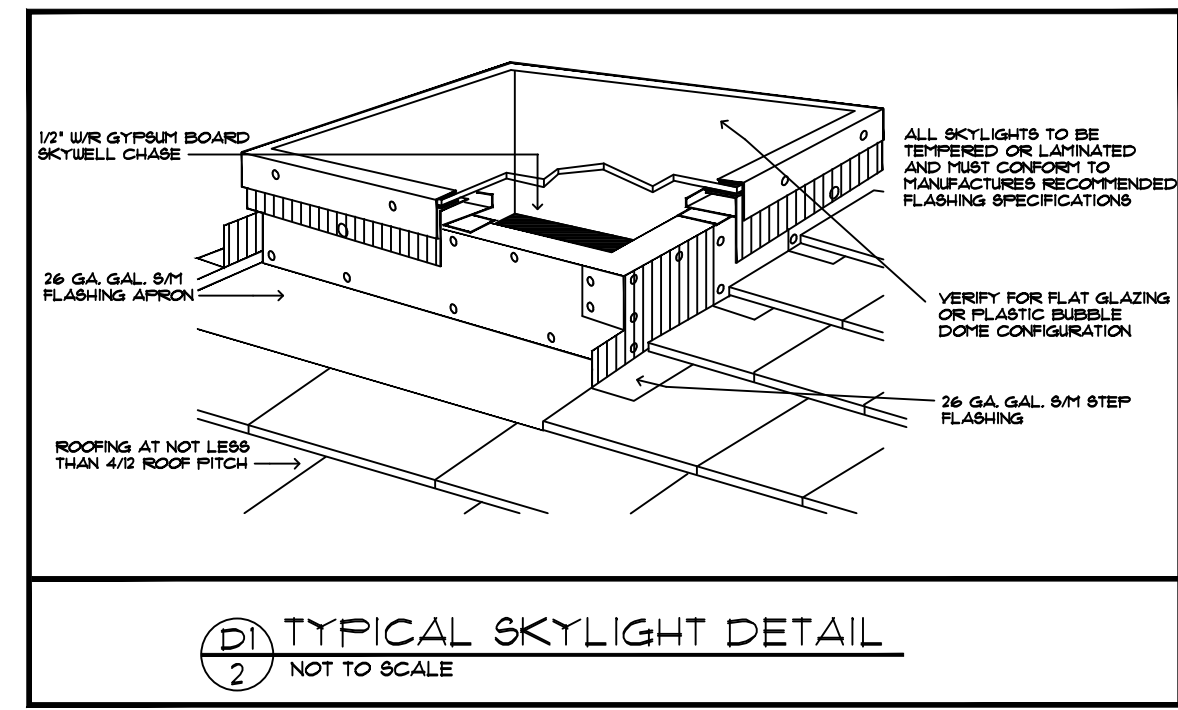
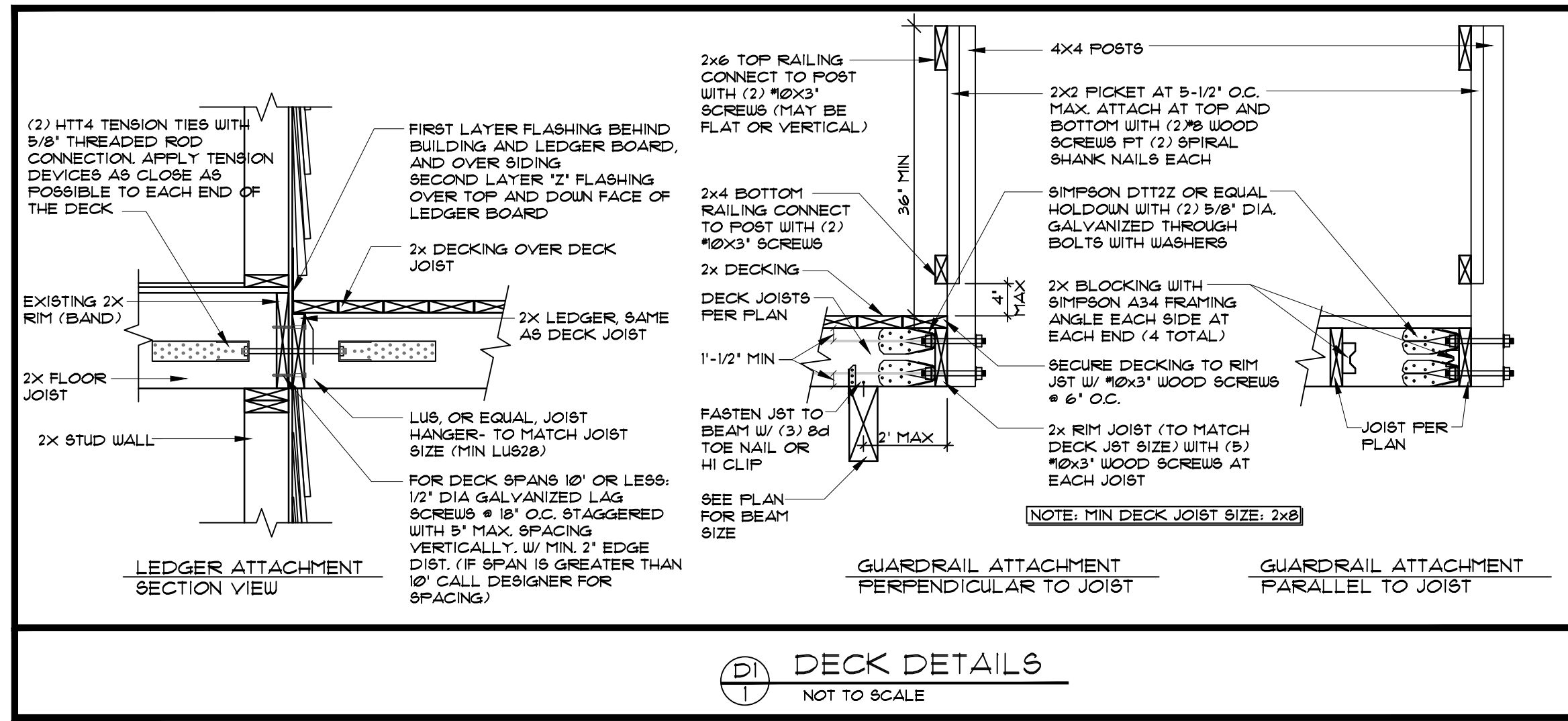
UPPER LEVEL ELECTRICAL PLAN
SCALE: 1/4"=1'-0" 874 SQ. FT.

	COMBO CARBON MONOXIDE/SMOKE DETECTOR
	SMOKE DETECTOR
	EXHAUST FAN

ELECTRICAL LEGEND	
	Switch
	3-Way Switch
	Ceiling Mounted Light Fixture
	Wall Mounted Light Fixture
	Recessed Light Fixture
	Pendant Light Fixture
	Fluorescent Light Fixture
	Ceiling Fan
	Ceiling Fan w/ Light Fixture
	110V Duplex Outlet
	110V Duplex Outlet, Counter Top Height - V.O.J.
	110V Duplex outlet On GFI Circuit
	110V Duplex Outlet On GFI Circuit, Counter Top height - V.O.J.
	110V Waterproof Duplex Outlet On GFI Circuit
	220V Outlet
	Disconnect
	Motor
	Door Bell
	Chime Box
	Thermostat

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PLAN NAME: ROSEMONT
DATE: 08/08



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SHEET: DETAILS
DATE: 07/08

D1

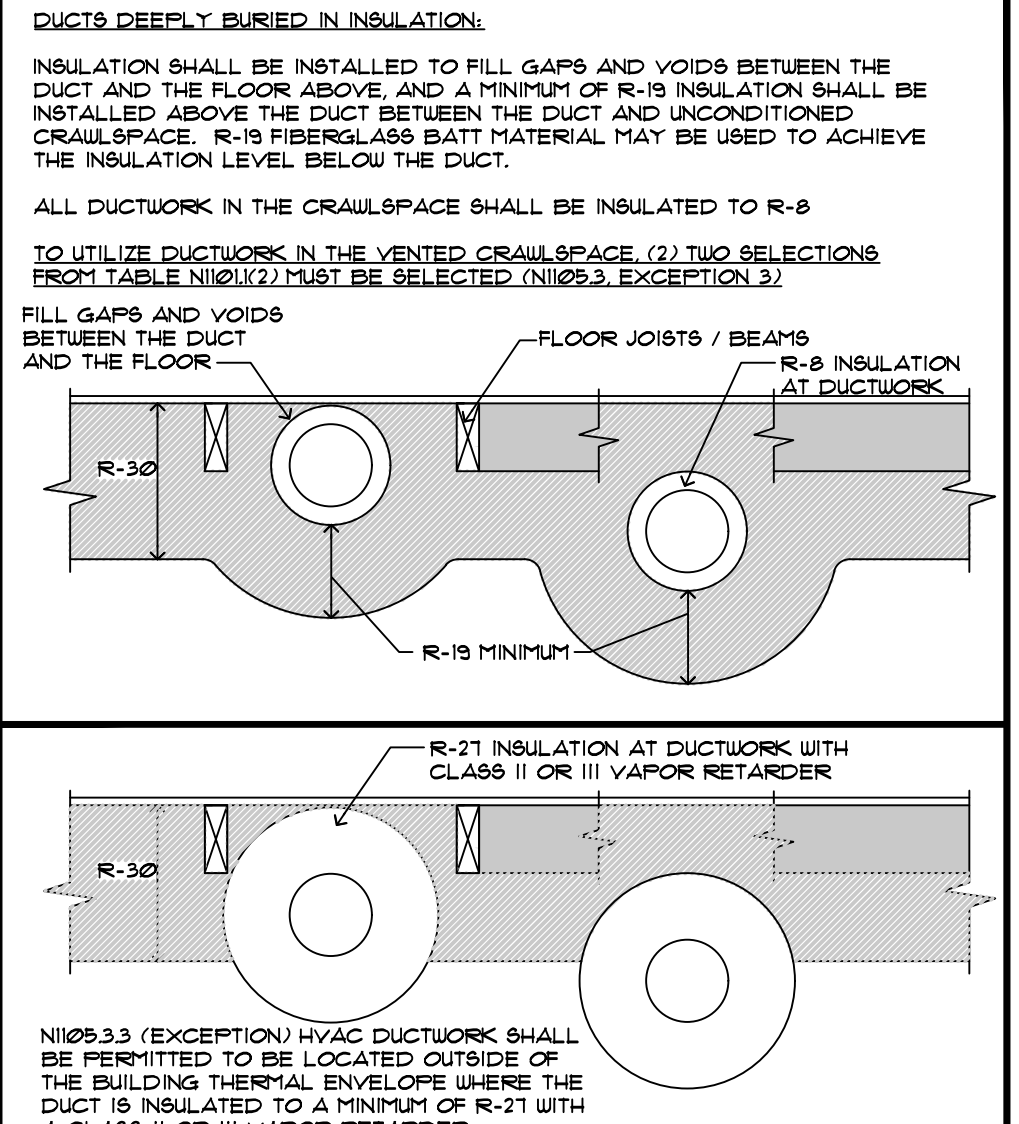
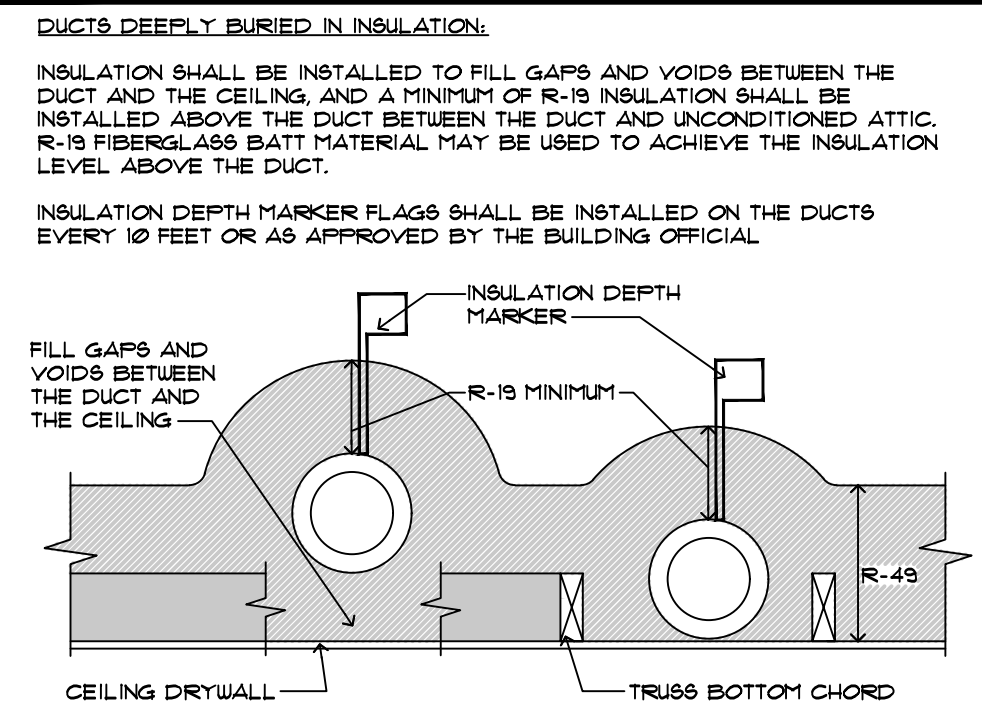
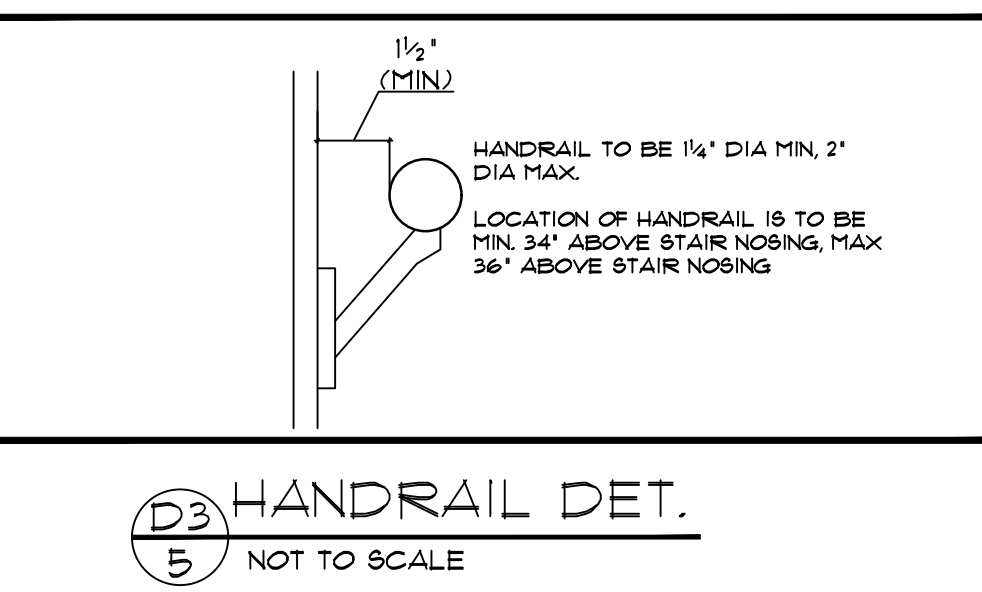
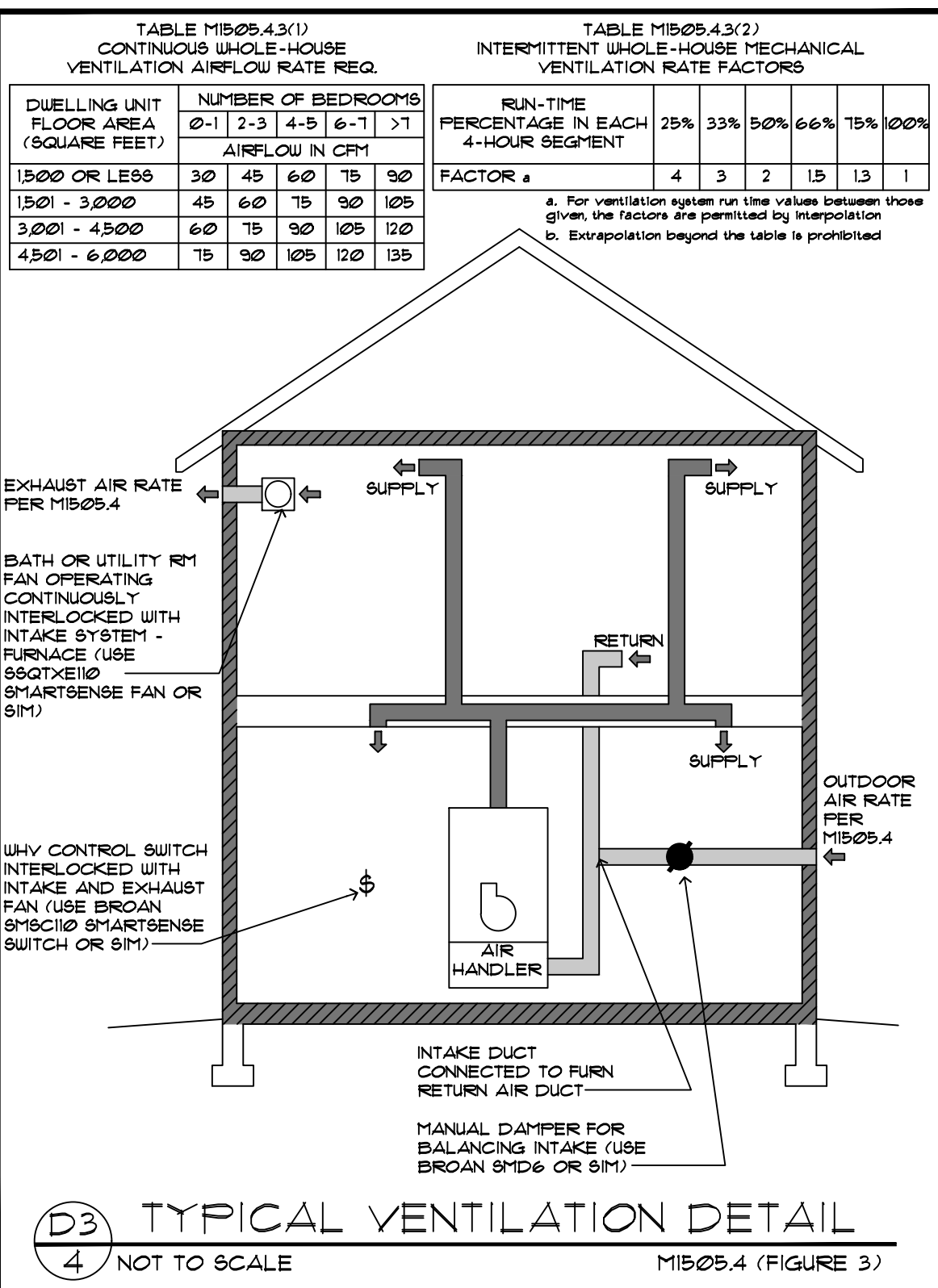
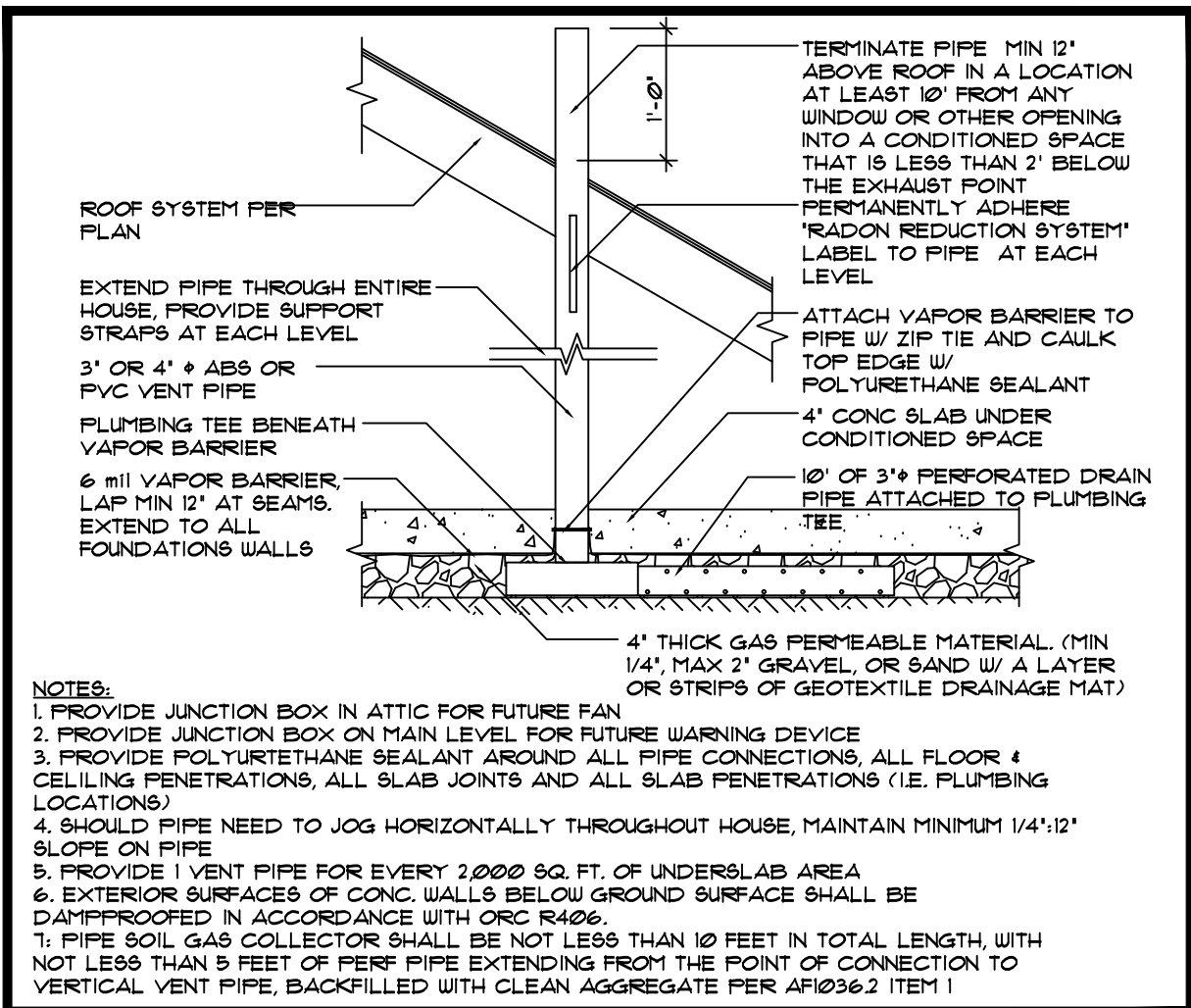
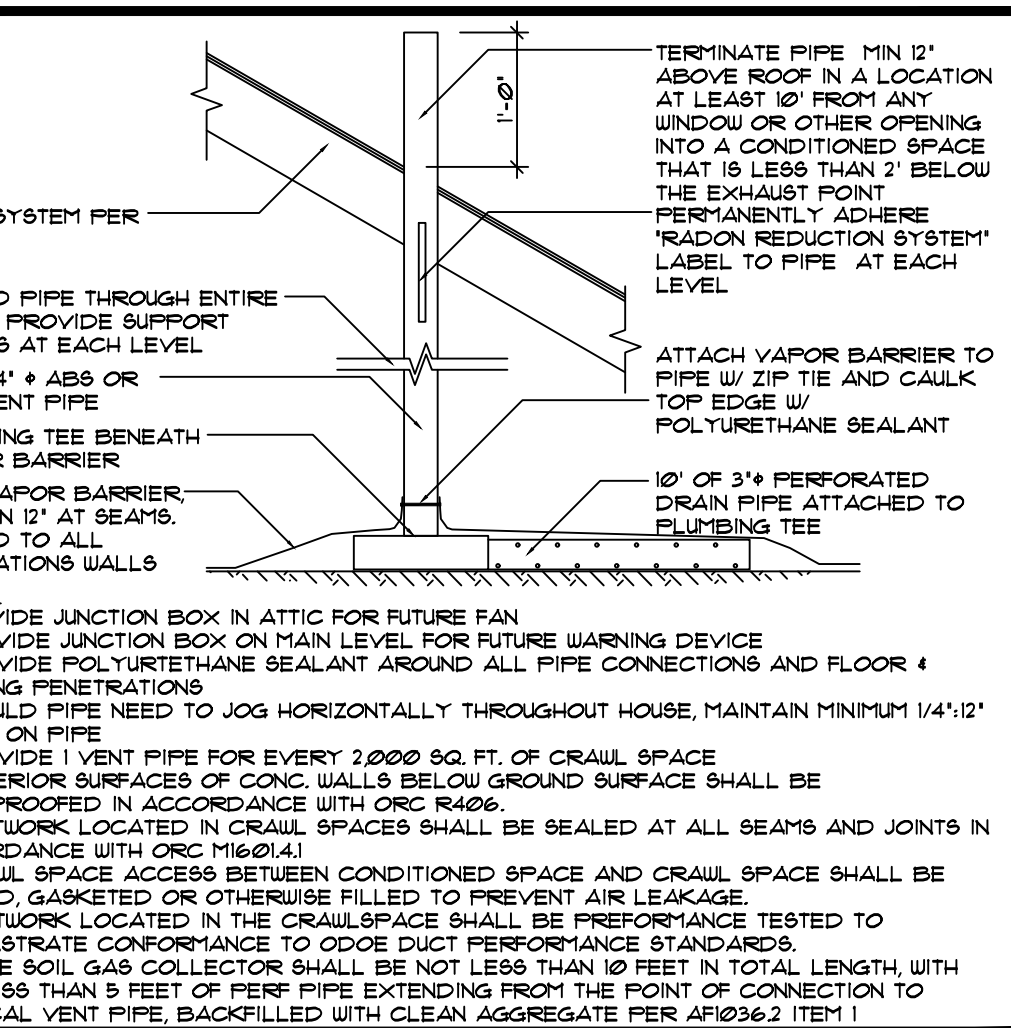
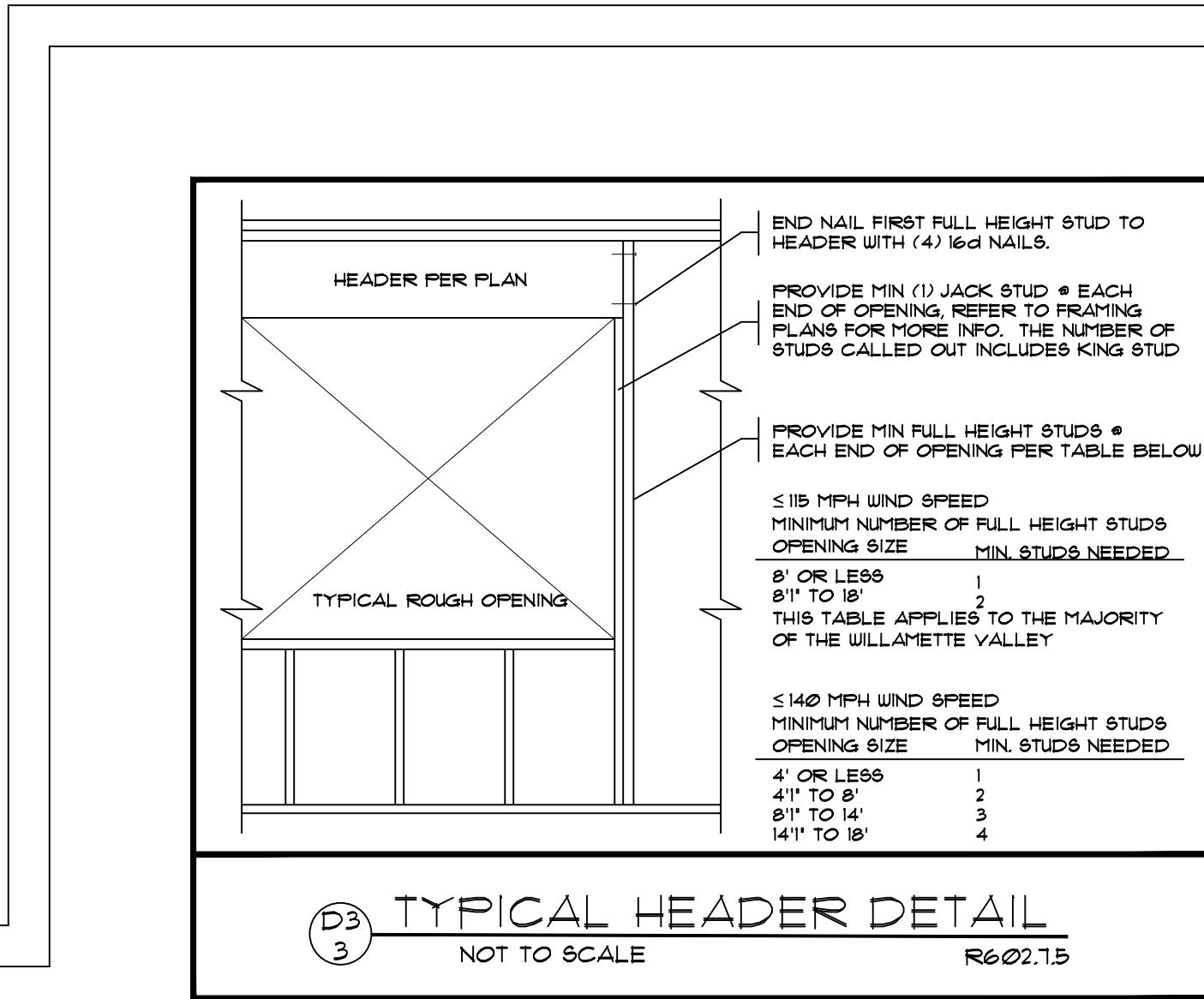
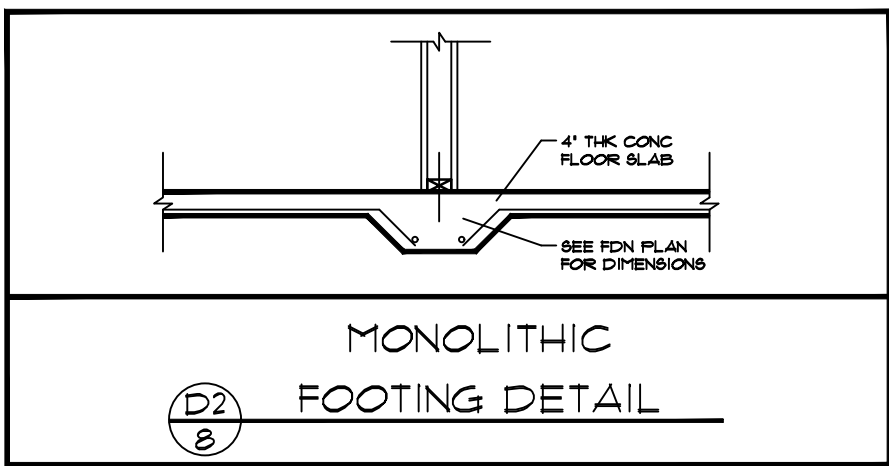
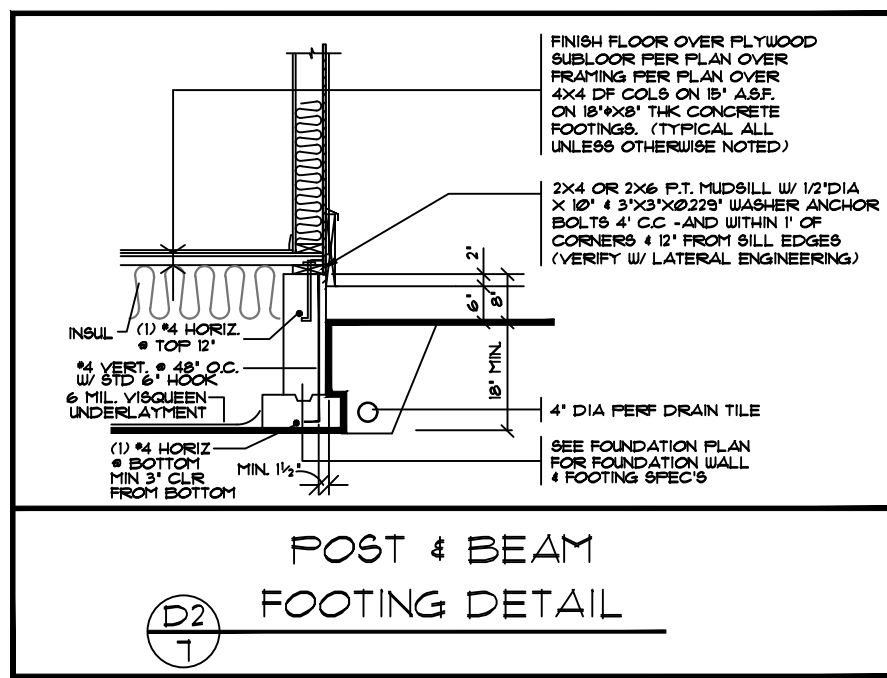
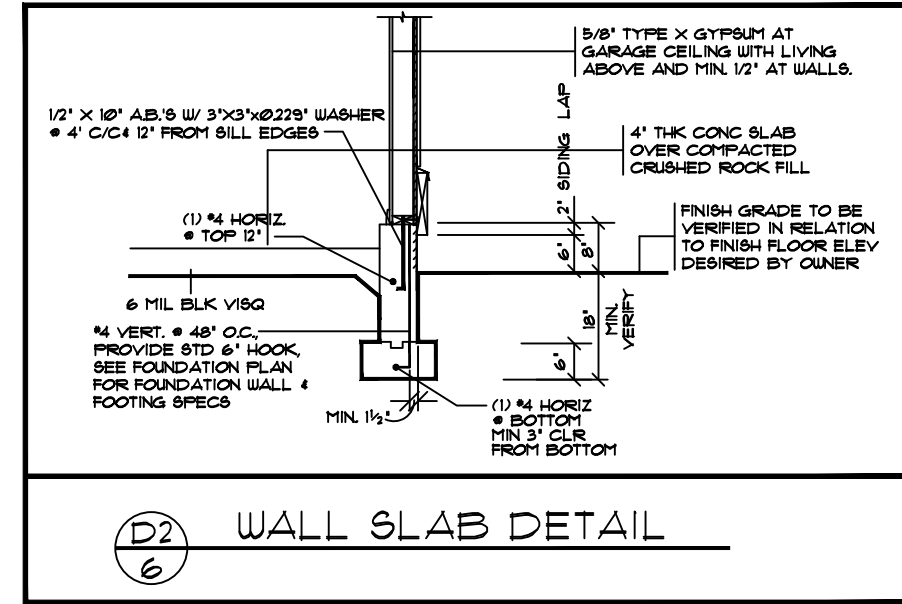
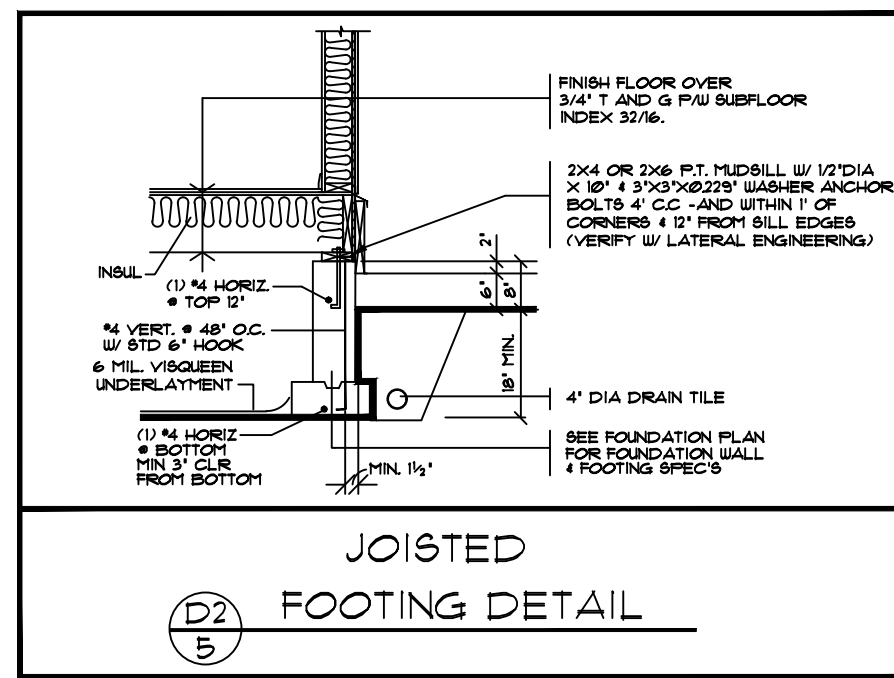
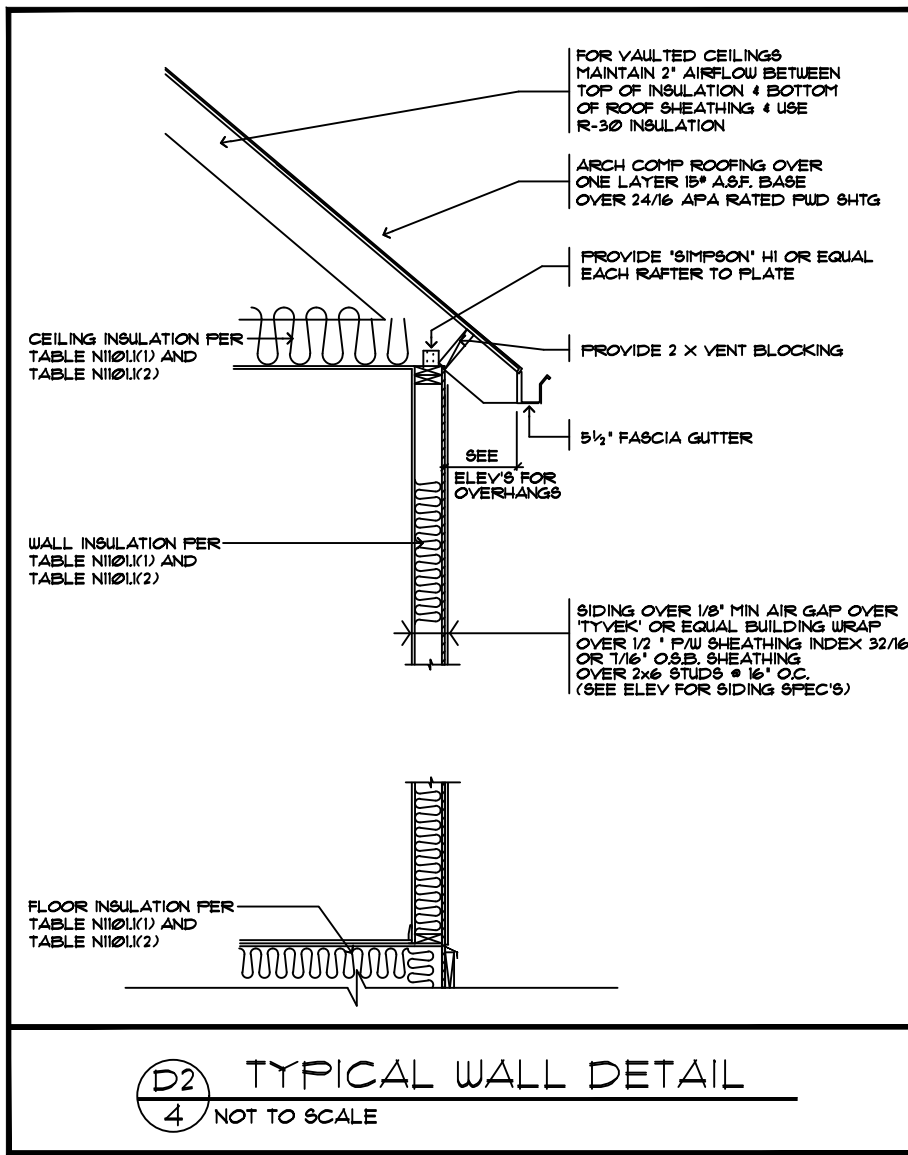
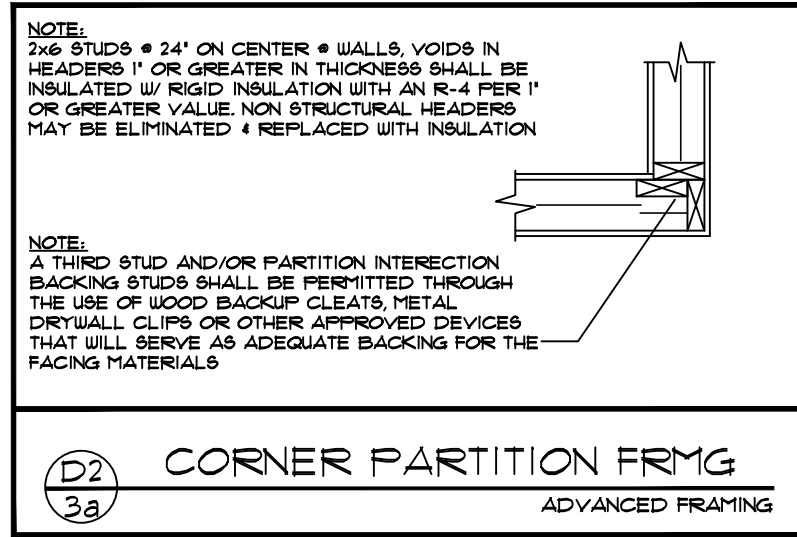
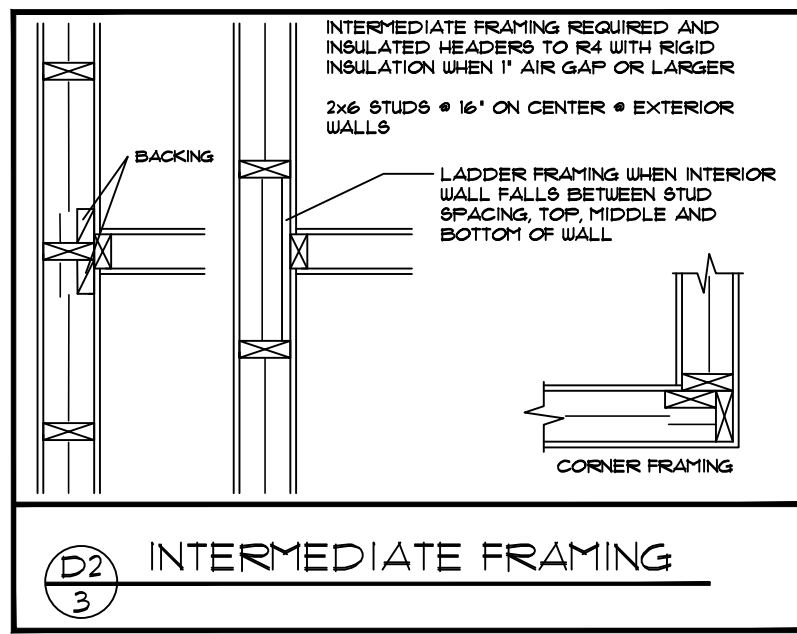
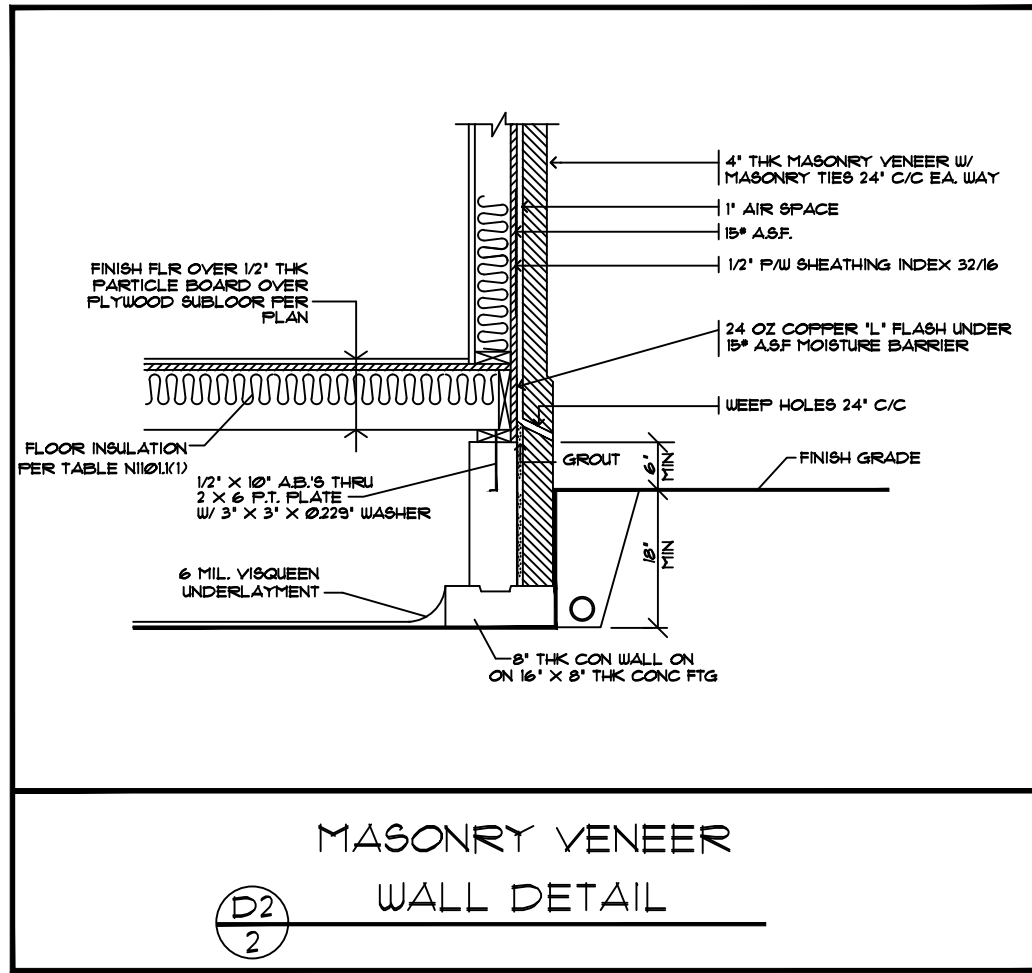
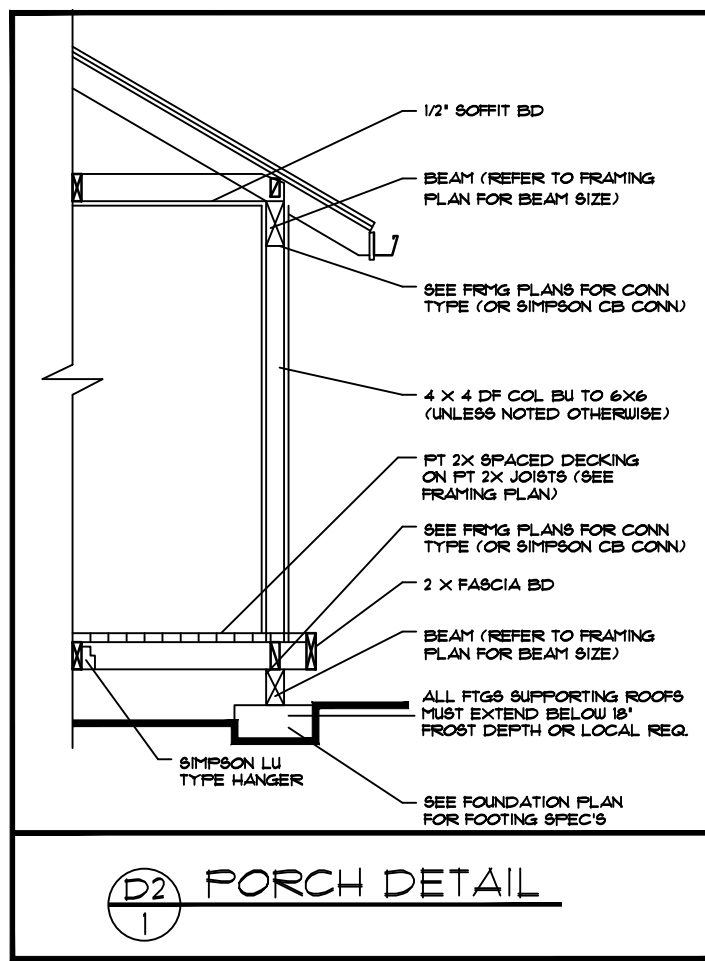


TABLE M1505.4.3(1) CONTINUOUS WHOLE-HOUSE VENTILATION AIRFLOW RATE REQ.

DUELLING UNIT FLOOR AREA (SQUARE FEET)	NUMBER OF BEDROOMS			
	0-1	2-3	4-5	6-7
1500 OR LESS	30	45	60	75
1501 - 3200	45	60	75	105
3201 - 4500	60	75	90	120
4501 - 6200	75	90	105	135

TABLE M1505.4.3(2) INTERMITTENT WHOLE-HOUSE MECHANICAL VENTILATION RATE FACTORS

RUN-TIME PERCENTAGE IN EACH 4-HOUR SEGMENT	25%	33%	50%	66%	75%	100%
	FACTOR #	4	3	2	1.5	1
100%	4	3	2	1.5	1.3	1

4. For ventilation system run time values not shown, the factors are permitted by interpolation. 5. Extrapolation beyond the table is prohibited.

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GENERAL NOTES

- ALL WORK IS TO COMPLY WITH THE 2023 ORSC CODE AND ANY APPLICABLE STATE, COUNTY OR LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
- DESIGN LOADS:

ROOF	30 PSF (LIVE LOAD)
FLOOR	40 PSF (LIVE LOAD)
STAIRS	100 PSF
GARAGE FLOOR	125 PSF (100000 FT)
DECKS	60 PSF

 (IF YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS, CONSULT WITH A LOCAL STRUCTURAL ENGINEER TO DETERMINE THE APPROPRIATE REVISIONS.)
- PROVIDE INSULATION Baffles AT EAVE VENTS BETWEEN RAFTERS.
- ALL CARBON MONOXIDE AND SMOKE DETECTORS SHALL BE POWERED BY 120V CURRENT, CONNECTED TO HOUSE ELECT SYSTEM. INTERCONNECT WITH EACH ONE SO THAT IF ANY ONE TRIPS, THEY ALL SOUND. THEY SHALL ALSO HAVE A BATTERY BACKUP AND BE LOCATED IN EACH BEDROOM AND ON EACH FLOOR LEVEL.
- GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4" IN DIA. CANNOT PASS THROUGH PROVIDE GROUNDING ELECTRODE AT ELECTRICAL SERVICE, CONSISTING OF A MINIMUM 20' LENGTH OF 1/2" STEEL REINFORCEMENT OF FOOTINGS, ELECTRODE SHALL EXTEND 12" MIN. ABOVE THE FLATE SURFACE.
- THE MAXIMUM AMOUNT OF WATER USED BY NEW PLUMBING FIXTURES: (EPA WATER SENSE LABELED)

TOILETS	1.28 GALLONS/MINUTE
SHOWER HEADS	2.0 GALLONS/MINUTE
INTERIOR FAUCETS	2.5 GALLONS/MINUTE
- IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS, REFERENCED STANDARDS OF THESE SPECIFICATIONS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- STRUCTURAL SPECIFICATIONS AND DRAWINGS FOR THIS WORK HAVE BEEN PREPARED IN ACCORDANCE WITH GENERALLY ACCEPTED LATERAL DESIGN PRACTICE TO MEET MINIMUM REQUIREMENTS OF THE LATEST EDITION OF THE ORSC.
- SPECIFICATIONS AND DRAWINGS INDICATE FINISHED STRUCTURE. BUILDER SHALL BE RESPONSIBLE FOR CONSTRUCTION METHODS, PROCEDURES, AND CONDITIONS (INCLUDING SAFETY), EXCEPT AS SPECIFICALLY INDICATED OTHERWISE IN THE CONTRACT DOCUMENTS.
- CONSTRUCTION LOADS SHALL NOT EXCEED THAT STRUCTURE NOR SHALL THEY BE IN EXCESS OF DESIGN LOADINGS INDICATED ON DRAWINGS.
- BUILDER SHALL VERIFY ALL MATERIALS, DIMENSIONS, AND CONDITIONS SHOWN ON STRUCTURAL DRAWINGS OR NOTED IN STRUCTURAL SPECIFICATIONS, ANY VARIANCES WITHIN STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR WITHIN CONDITIONS ENTERED AT JOB SITE SHALL BE REPORTED TO OWNER IN WRITING BEFORE COMMENCEMENT OF ANY WORK EFFECTED BY SUCH VARIANCE.
- BUILDER SHALL RIGIDLY ADHERE TO ALL LAWS, CODES, AND ORDINANCES WHICH APPLY TO THIS WORK. HE SHALL NOTIFY AND REPORT ANY VIOLATIONS OF ANY VARIATIONS BETWEEN CONTRACT DOCUMENTS AND GOVERNING REGULATIONS.
- ALL MANUFACTURED MATERIALS, COMPONENTS, FASTENERS, ASSEMBLIES, ETC., SHALL BE HANDLED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PROVISIONS OF APPLICABLE ICBO RESEARCH RECOMMENDATIONS, WHERE SPECIFIC MANUFACTURED PRODUCTS ARE CALLED FOR. GENERIC MATERIALS SHALL MEET APPLICABLE STANDARDS AND SPECIFICATIONS MAY BE USED.
- NO VARIANCE BY A BUILDING OFFICIAL SHALL BE BINDING ON DESIGNERS.
- BUILDER SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR FILLED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESS POOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH ITEMS ARE FOUND, OWNER SHALL BE NOTIFIED IMMEDIATELY.
- CARBON MONOXIDE DETECTORS SHALL BE PROVIDED IN ANY HOME WITH A GAS APPLIANCE. ONE SHALL BE LOCATED WITHIN EACH BEDROOM OR WITHIN 15' OR OF EACH BEDROOM DOOR. BEDROOMS ON SEPARATE FLOORS REQUIRE SEPARATE DETECTORS.
- DISCHARGE COOKTOP RANGE VENT DUCTED TO OUTSIDE AIR WITH MIN 150 CFM INTERMITTENT RATED FAN.

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.
- SOIL BEARING PRESSURE ASSUMED TO BE 15000 PSF.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM 4" GRANULAR MATERIAL COMPACTED TO 95%.
- CONCRETE TO DEVELOP A MIN. OF 2500 PSI AT 28 DAYS WITH A MIN. OF 6 BAGS OF CEMENT PER YARD AND A MAXIMUM W/C OF 4.
- CONCRETE SLABS TO HAVE CONTROL JOINTS AT 25' (MAXIMUM) INTERVALS EA. WAY.
- CONCRETE SIDEWALKS TO HAVE 3/4" TOoled JOINTS AT 5' O.C. (MINIMUM).
- REINFORCING STEEL TO BE A-615 GRADE 60, WELDED WIRE MESH TO BE A-188.
- EXCAVATE THE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
- COVER ENTIRE GRAILSPACE WITH 6 MIL BLACK 'VIBRQUEEN' AND EXTEND UP THE STEM WALL 12" (MIN) PROVIDE A MINIMUM OF 150 CFM OF VENTILATION AREA FOR EACH 150 SQ FT OF GRAILSPACE AREA. VENTS SHALL HAVE 1/4" OPENINGS IN CORROSIIVE RESISTANT SCREEN.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH 30" ROLL ROOFING.
- BEAM POCKETS IN CONCRETE TO HAVE 1/2" AIRSPACE AT SIDES AND ENDS WITH A MINIMUM BEARING OF 3".
- PROVIDE DRAINAGE DRAIN AS PER SEC. R409.1 OF ORSC.
- THE GRADE AWAY FROM FND WALLS SHALL FALL 6" MIN. WITHIN FIRST 10'.
- SLOPE FOR PERMANENT FILLS AND CUT SLOPES SHALL NOT EXCEED 2 UNITS HORIZ. TO 1 UNIT VERT.
- BACKFILL SHALL NOT BE PLACED UNTIL WALL HAS SUFFICIENT STRENGTH AND HAS BEEN PROPERLY ANCHORED TO FLOOR ABOVE ON WALLS W/ MORE THAN 4' UNBALANCED BACKFILL.
- BUILDER SHALL BE RESPONSIBLE FOR SUPPORT OF ALL TEMPORARY EMBANKMENTS AND EXCAVATIONS.
- FOOTINGS SHALL BE FOUNDED ON FIRM, UNDISTURBED, NATIVE, FREE DRAINING SOILS, CONDITIONS FOUND TO BE OTHERWISE SHALL BE REPORTED TO OWNER.
- ALL GROUND COVER WHICH FOOTINGS AND SLABS-ON-GRADE ARE TO BE PLACED SHALL BE FREE OF EXPANSIVE OR COMPRESSIBLE DEBRIS AND ORGANIC MATERIAL.
- FOOTINGS AND SLABS-ON-GRADE CONCRETE SHALL NOT BE PLACED ON MUDDY OR FROZEN GROUND. SUB-GRADE FOR SLABS-ON-GRADE WHERE VAPOR BARRIER IS NOT REQUIRED SHALL BE DAMP AT TIME OF CONCRETE PLACEMENT.
- WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS. AT ALL INTERIOR BRACE WALL PANELS ON MONOLITHIC SLABS AND AT ALL WOOD GILL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MIN 1/2" X 12" BOLTS AT 6" O.C. A 0.229" X 3" X 3" WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. INSTALL MIN (2) BOLTS AT THE MIDDLE THIRD PORTS OF EACH PLATE.

FRAMING NOTES

- ALL EXTERIOR WALL AND BEARING WALL OPENINGS TO HAVE D.P. 2" 4x12 HEADER, UNLESS KNOWN AS 'STD HDR' OR 'STANDARD HEADER' OTHERWISE OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH JOISTS ARE TO BE HUNG WITH 'SIMPSON' LU TYPE OR EQUIV. DOUBLE JOISTS THAT ARE ATTACHED TO FLUSH BMS ARE TO BE HUNG WITH 'SIMPSON' LUS TYPE OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER.
- PROVIDE FIREBLOCKS, DRAFTSTOPS & FIRESTOPS AS PER THE ORSC SEC R602.8
- LUMBER SPECIES:

A. POSTS & BEAMS	NO2 DOUG FIR
B. JOISTS AND RAFTERS	NO2 DOUG FIR
C. BRIDGING, ETC.	STUD GRADE D.F.
D. STUDS	UTILITY GRADE D.F.
E. POST AND BEAM DECKING	3/4" CDX FLY, 32/16
F. FLYWOOD SHEATHING	1/2" 2400, DRY ADH.
G. GLU-LAM BEAMS	
- NAILING SCHEDULE SEE TABLE 0603.1(1)
- NOTCHES IN SOLID LUMBER JOISTS, RAFTERS, AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED EXTENDING THE MIDDLE OF THE MEMBER SPAN AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER, THE TENSION SIDE OF MEMBERS 4" (102mm) OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT ENDS OF THE MEMBERS, THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE LOCATED IN THE MEMBER, WHERE THE MEMBER IS ALSO NOTCHED, THE HOLE SHALL NOT BE CLOSER THAN 2" (51mm) TO THE NOTCH.
- STUDS IN AN EXTERIOR WALL OR LOAD-BEARING PARTITIONS SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF ITS WIDTH. STUDS IN NON-LOAD-BEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT TO EXCEED 40% OF A SINGLE STUD WIDTH. STUDS SHALL BE PERMITTED TO BE BORED OR DRILLED PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO GREATER THAN 40% OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NO CLOSER THAN 5/8" (15.9mm) TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH.
- INSTALL ALL HORIZONTAL MEMBERS WITH CROWN UP.
- ALL MEMBERS IN BEARING SHALL BE ACCURATELY CUT AND ALIGNED SO THAT THE BEARING IS PROVIDED WITHOUT USE OF BOLTS. BEARING JOISTS SHALL HAVE FULL BLOCKING OR SUPPORT UNDER.
- ALL JOISTS SHALL HAVE A MINIMUM OF 2" BEARING AT SUPPORTS. LANDING JOISTS SHALL HAVE 6" LAP CENTERED OVER INTERIOR SUPPORTS.
- LEDGERS AND STUD WALL FOUNDATION BILL FLATES SHALL BE BOLTED TO CONCRETE W/ ANCHOR BOLTS OF SIZE AND MINIMUM SPACING AS SHOWN ON DRAWINGS. AT LEAST TWO BOLTS SHALL BE PROVIDED FOR EACH PIECE W/ ONE BOLT WITHIN 12" OF EACH END.
- ALL PLYWOOD WALL SHEATHING SHALL BE APPLIED AS FOLLOWS: CENTER VERTICAL JOINTS OVER STUDS AND CENTER HORIZONTAL JOINT OVER 2" BLOCKING OR PLATE. NAIL TOP OF PANELS TO DOUBLE TOP PLATE, AND NAIL BOTTOM OF PANELS TO ANCHORED BILL PLATE. NIP4170 TO DEMONSTRATE EQUIVANCE TO BUILDING ENVELOPE ADJACENT COURSE DO NOT OCCUR AT THE SAME STUD.

SECTION N1107 LIGHTING

ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN HIGH EFFICACY LAMPS, SCREW-IN COMPACT FLUORESCENT AND LED LAMPS COMPLY WITH THIS REQUIREMENT. EXCEPTION: TWO PERMANENTLY INSTALLED LIGHTING FIXTURES ARE NOT REQUIRED TO HAVE HIGH EFFICACY LAMPS.

ALL EXTERIOR LIGHTING FIXTURES AFFIXED TO THE EXTERIOR OF THE BUILDING SHALL CONTAIN HIGH EFFICACY LAMPS. EXCEPTION: TWO PERMANENTLY INSTALLED LIGHTING FIXTURES ARE NOT REQUIRED TO HAVE HIGH EFFICACY LAMPS.

R324.1.3 SOLAR INTERCONNECTION PATHWAY

A SQUARE METAL JUNCTION BOX NOT LESS THAN 4 INCHES BY 4 INCHES WITH A METAL BOX COVER SHALL BE PROVIDED WITHIN 24 INCHES HORIZONTALLY OR VERTICALLY OF THE MAIN ELECTRICAL PANEL. A MINIMUM 1/4 INCH NONFLEXIBLE METAL RACEWAY SHALL EXTEND FROM THE JUNCTION BOX TO A CAPPED ROOF TERMINATION OR TO AN ACCESSIBLE LOCATION IN THE ATTIC WITH A VERTICAL CLEARANCE NOT LESS THAN 36 INCHES, WHERE RACEWAY TERMINATES IN THE ATTIC, THE TERMINATION SHALL BE LOCATED NOT LESS THAN 6 INCHES ABOVE THE INSULATION, THE END OF THE RACEWAY SHALL BE MARKED AS 'RESERVED FOR SOLAR'. TWO BLANK SPOTS IN THE ELECTRICAL PANEL SHALL BE RESERVED FOR SOLAR.

TRUSS NOTE

SUBMIT TRUSS DESIGN FOR ENGINEERING PRIOR TO FABRICATION. A VERIFY LOCATION OF GIRDER TRUSSES W/ TRUSS COMPANY PRIOR TO FORMING FOUNDATION WALLS AS TO PROVIDE FOR ADDITIONAL LOADING FROM VARYING TRUSS DESIGN.

VERIFY ALL TRUSS SPANS & CONFIGURATIONS ON JOB SITE PRIOR TO FABRICATION.

HVAC NOTE

EACH HVAC SYSTEM SHALL BE PROVIDED WITH AT LEAST ONE THERMOSTAT FOR THE REGULATION OF TEMPERATURE PER N104.1.

THERMOSTATS SHALL HAVE READILY ACCESSIBLE MEANS FOR REDUCING ENERGY FOR HEATING AND COOLING DURING PERIODS OF REDUCED NEEDS.

THE THERMOSTAT SHALL MEET 'ENERGY STAR' SMART THERMOSTAT CRITERIA WITH MIN CONTROL FEATURE OF EITHER INTEGRAL OCCUPANCY OR GEOPENCING OR APPROVED EQUIVALENT.

ELECTRICAL REQUIREMENTS

LIGHTING REQUIREMENTS:
AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED IN EVERY HABITABLE ROOM AND IN BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, DETACHED GARAGES PROVIDED WITH ELECTRICAL POWER AND AT THE EXTERIOR SIDE OF EGRESS DOORS.

STAIRWAY LIGHTING CONTROL:
ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS OF ILLUMINATION TO THE STAIR, INCLUDING THE LANDINGS AND TREADS, TO BE CONTROLLED BY A WALL SWITCH AT EACH FLOOR LEVEL. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. EXTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIR. EXCEPTION: WHERE THE DIFFERENCE BETWEEN FLOOR LEVELS REQUIRES LESS THAN 6 STAIR RISERS.

FIXTURES IN CLOTHES CLOSETS:
SURFACE MOUNTED FLUORESCENT FIXTURES SHALL BE INSTALLED ON THE WALL ABOVE THE DOOR OR ON THE CEILING, PROVIDED THERE IS A MINIMUM CLEARANCE OF 6" BETWEEN THE FIXTURE AND THE NEAREST POINT OF A STORAGE SPACE.

WET OR DAMP LOCATIONS:
FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMP HOUSINGS OR OTHER ELECTRICAL PARTS. ALL FIXTURES INSTALLED IN WET LOCATIONS SHALL BE MARKED 'SUITABLE FOR WET LOCATIONS'. ALL FIXTURES INSTALLED IN DAMP LOCATIONS SHALL BE MARKED 'SUITABLE FOR WET LOCATIONS' OR 'SUITABLE FOR DAMP LOCATIONS'.

LIGHT SWITCH ACCESS:
ALL SWITCHES SHALL BE LOCATED TO ALLOW OPERATION FROM A READILY ACCESSIBLE LOCATION.

RECEPTACLE OUTLET REQUIREMENTS:
IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, DEN, BEDROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET, MEASURED HORIZONTALLY FROM AN OUTLET IN THAT SPACE, INCLUDING ANY WALL SPACE THAT IS 2 FEET OR MORE IN WIDTH.

KITCHENS:
RECEPTACLE OUTLETS, WITH GFI PROTECTION, SHALL BE INSTALLED EVERY 24' ON ALL COUNTER SPACES THAT MEASURE 12" OR WIDER.

BATHROOMS:
AT LEAST ONE WALL RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED IN BATHROOMS ADJACENT TO EACH BATHIN LOCATION.

OUTDOORS:
AT LEAST ONE RECEPTACLE OUTLET, WITH GFI PROTECTION, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE.

HALLWAYS:
HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET.

HVAC OUTLETS:
A CONVENIENCE RECEPTACLE OUTLET SHALL BE INSTALLED FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT LOCATED IN ATTICS AND CRAWL SPACES.

WET LOCATIONS:
A RECEPTACLE INSTALLED IN A WET LOCATION SHALL BE IN A WEATHER PROOF ENCLOSURE, THE INTEGRITY OF WHICH IS NOT AFFECTED WHEN THE ATTACHMENT PLUG CAP IS INSERTED.

*ADDITIONAL INFORMATION CAN BE FOUND IN THE OREGON RESIDENTIAL SPECIALTY CODE BOOK IN SECTIONS:

- E31-404 SWITCHES
- E31-406 RECEPTACLE OUTLETS
- E31-410 LIGHTING OUTLETS

HIGH-EFFICIENCY INTERIOR LIGHTING SYSTEM:
ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN HIGH EFFICACY LAMPS, SCREW-IN COMPACT FLUORESCENT AND LED LAMPS COMPLY WITH THIS REQUIREMENT. (EXCEPTION: TWO PERMANENTLY INSTALLED LIGHTING FIXTURES ARE NOT REQUIRED TO HAVE HIGH EFFICACY LAMPS).

HIGH-EFFICIENCY EXTERIOR LIGHTING SYSTEM:
ALL EXTERIOR LIGHTING FIXTURES AFFIXED TO THE EXTERIOR OF THE BUILDING SHALL CONTAIN HIGH EFFICACY LAMPS. (EXCEPTION: TWO PERMANENTLY INSTALLED LIGHTING FIXTURES ARE NOT TO HAVE HIGH EFFICACY LAMPS).

TABLE N1101.1(1)

BUILDING COMPONENT	MIN. REQUIRED VALUE
WALL INSULATION- ABOVE GRADE	R-21 INTERMEDIATE c
WALL INSULATION- BELOW GRADE *	R-15 c, R/21
FLAT CEILING ⁵	R-49
VAULTED CEILING ⁶	R-30 RAFTER OR R-30A GJ SCISSOR TRUSS
UNDERFLOORS	R-30
SLAB EDGE PERIMETER *	R-15
HEATED SLAB INTERIOR ¹	R-10
WINDOWS ²	U-0.21
SKYLIGHTS	U-0.27
EXTERIOR DOORS ³	U-0.20

For 61: 1 inch = 25.4mm, 14 sq. ft. = 0.929 m², 1 degree = 0.0175 rad, n/a = not applicable

- As allowed in Section N1014, thermal performance of a component may be adjusted provided that overall heat loss does not exceed the total resulting from conformance to the required U-value standards. Calculations to document equivalent heat loss shall be performed using the procedure and approved U-values contained in Table N1041(1).
- R-values used in this table are nominal for the insulation only in standard wood framed construction and not for the entire assembly.
- Wall insulation requirements apply to all exterior wood framing, concrete or masonry walls that are above grade. This includes cripple walls and rim joist areas. Nominal compliance with R-21 insulation and intermediate framing (N1045.2) with insulated headers.
- Below-grade wood, concrete or masonry walls include all walls that are below grade and do not include those portions of such walls that extend more than 24 inches above grade. R-21 for insulation in framed cavity; R-15 continuous insulation.
- Insulation levels for ceilings that have limited attic/rafter depth such as dormer, bay window or similar features totaling not more than 150 square feet in area may be reduced to not less than R-21 when reduced the cavity shall be filled (except for required vent spaces) R-49 insulation installed to minimum 6-inch depth at top plate exterior of structure to achieve U-factor.
- Vaulted ceiling surface area exceeding 50 percent of the total heated space floor area shall have a U-factor no greater than U-0.026 (equivalent to R-38 rafter or scissor truss with R-38 advanced framing).
- A maximum of 28 square feet of exterior door area per dwelling unit can have a U-factor of .34 or less.
- Minimum 24 inch horizontal or vertical blank grade

TABLE N1011(2) ADDITIONAL MEASURES

1	HIGH EFFICIENCY HVAC SYSTEM: * a. GAS FIRED FURNACE OR BOILER AFUE 94%, OR b. AIR SOURCED HEAT PUMP HSPF 10/14.0 SEER COOLING, OR c. GROUND SOURCED HEAT PUMP COP 3.5 OR ENERGY STAR RATED
2	HIGH EFFICIENCY WATER HEATING SYSTEM: a. NATURAL GAS / PROPANE WATER HEATER WITH UEF 0.90 OR b. ELECTRIC HEAT PUMP WATER HEATER WITH MINIMUM UEF 3.45 OR c. NATURAL GAS/PROPANE TANKLESS/INSTANTANEOUS WITH MIN. 0.80 UEF AND DRAIN WATER HEAT RECOVERY UNIT INSTALLED ON MIN OF ONE SHOWER/TUB-SHOWER.
3	WALL INSULATION UPGRADE: EXTERIOR WALLS = U-0.045/R-21 CONVENTIONAL FRAMING WITH R-5.0 CONTINUOUS INSULATION
4	ADVANCED ENVELOPE: WINDOWS = U-0.21 (AREA WEIGHTED AVERAGE) AND FLAT CEILING ⁵ = U-0.011/R-60 AND FRAMED FLOORS = U-0.016/R-38 OR SLAB EDGE INSULATION TO F-0.48 OR LESS (R-10 FOR 48'; R-15 FOR 36' OR R-5 FULLY INSULATED SLAB)
5	DUCTLESS HEAT PUMP, DWELLING UNITS WITH ALL ELECTRIC HEAT a. PROVIDE DUCTLESS HEAT PUMP OF MIN HSPF 10.0 OR HSPF2 9.0 IN PRIMARY ZONE REPLACES ZONAL HEAT SOURCES AND b. PROVIDE PROGRAMMABLE THERMOSTAT FOR ALL HEATERS IN BEDROOMS
6	HIGH EFFICIENCY THERMAL ENVELOPE UA: PROPOSED UA IS 8% LOWER THAN THE CODE UA
7	ACH50 AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION: ACHIEVE A MAXIMUM OF 2.15 ACH50 WHOLE-HOUSE AIR LEAKAGE WHEN THIRD-PARTY TESTED AND PROVIDE A WHOLE-HOUSE VENTILATION SYSTEM, INCLUDING HEAT RECOVERY WITH A MINIMUM SENSIBLE HEAT RECOVERY EFFICIENCY OF NOT LESS THAN 66 PERCENT AND TOTAL FAN EFFICACY OF 16 CFM/WATT (COMBINED INPUT FOR SUPPLY AND EXHAUST)

- FOR 61: 1 SQUARE FOOT = 0.093 M², 1 WATT PER SQUARE FOOT = 10.8 W/M²
- Appliances located within the building thermal envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
 - The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor greater than U-0.026.
 - In accordance with Table N1041(1), the Proposed UA total of the Proposed Alternative Design shall be a minimum of 8 percent less than the code UA total of the Standard Base Case.

FLOOR PLAN NOTES

- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ FT WITH A MIN WIDTH OF 20" AND A MIN HEIGHT OF 24" AND A BILL LESS THAN 44" OFF THE FLOOR.
- ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING. SEE SECTION R308.4 IN ORSC FOR ADDITIONAL INFO.
- SKYLITES ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE (UNLESS FLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 25'. SKYLITE FRAME IS TO BE ATTACHED TO A 2 X CURB WITH MINIMUM OF 4" ABOVE ROOF FLANE.
- ALL TUB OR SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEADBOLT LOCKS ON ALL EXTERIOR DOORS AND LOCKING DEVICES ON ALL DOORS OR WINDOWS WITHIN 10' (VERTICAL) OF GRADE. PROVIDE PEEP-HOLE = 34" - 66" ABOVE FLOOR ON EXTERIOR DOORS.
- PROVIDE COMBUSTION AIR VENTS (W/ SCREEN AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN INTERMITTENT AND CONTROLLED BY A DE-HUMIDISTAT, TIMER OR SIMILAR MEANS OF CONTROL. RANGE HOODS ARE ALSO TO BE VENTED TO OUTSIDE = 150 CFM INTERMITTENT.

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SHEET NOTES

DATE: 9/2019

TABLE 602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NO. & TYPE OF FASTENER ^{a,b,c}	SPACING AND LOCATION
Roof			
1	Blocking between ceiling joists, rafters or trusses to top plate or other framing below	4-8d box (2 1/2"x0.131") or 3-8d common (2 1/2"x0.131") or 3-10d box (3"x0.128") or 3-3"x0.131" nails	Toe nail
	Blocking between rafters or truss not at the wall top plates, to rafter or truss	2-8d common (2 1/2"x0.131") or 2-3"x0.131" nails	Each end toe nail
	Flat blocking to truss and web filler	1-6d common (3 1/2"x0.162") or 3-3"x0.131" nails	End nail
2	Ceiling joists to top plate	4-8d box (2 1/2"x0.131") or 3-8d common (2 1/2"x0.131") or 3-10d box (3"x0.128") or 3-3"x0.131" nails	6" o.c. face nail
	Ceiling joists not attached to parallel rafter, laps over partitions (see Sections R802.5.2 and Table R802.5.2)	4-10d box (3"x0.128") or 3-1-6d common (3 1/2"x0.162") or 4-3"x0.131" nails	Per joist, toe nail
3	Ceiling joists attached to parallel rafter, heel joint (see Sections R802.5.2 and Table R802.5.2)	Table R802.5.2	Face nail
4	Collar tie to rafter, face nail	4-10d box (3"x0.128") or 3-10d common (3"x0.128") or 4-3"x0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-1-6d box (3 1/2"x0.135") or 3-10d common (3"x0.148") or 4-10d box (3"x0.128") or 4-3"x0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-1-6d box (3 1/2"x0.135") or 3-10d common (3"x0.148") or 4-10d box (3"x0.128") or 4-3"x0.131" nails	Toe nail
		3-1-6d box (3 1/2"x0.135") or 2-1-6d common (3 1/2"x0.162") or 3-10d box (3"x0.128") or 3-3"x0.131" nails	End nail
Wall			
8	Stud to stud (not at braced wall panels)	1-6d common (3 1/2"x0.162")	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	1-6d box (3 1/2"x0.135") or 3"x0.131" nails	16" o.c. face nail
		1-6d box (3 1/2"x0.162")	12" o.c. face nail
10	Built up header (2" to 2" header with 1/2" spacer)	1-6d box (3 1/2"x0.162")	16" o.c. face nail
		1-6d box (3 1/2"x0.135")	12" o.c. each edge face nail
11	Continuous header to stud	5-8d box (2 1/2"x0.131") or 4-8d common (2 1/2"x0.131") or 4-10d box (3"x0.128")	Toe nail
12	Adjacent full-height stud to end of header	4-1-6d box (3 1/2"x0.135") or 3-1-6d common (3 1/2"x0.162") or 4-10d box (3"x0.128") or 4-3"x0.131" nails	Toe nail
13	Top plate to top plate	1-6d common (3 1/2"x0.162")	16" o.c. face nail
14	Double top plate splice	1-6d box (3 1/2"x0.128") or 3"x0.131" nails	12" o.c. face nail
		8-1-6d common (3 1/2"x0.162") or 12-1-6d box (3 1/2"x0.135") or 12-1-6d box (3"x0.128") or 12-3"x0.131" nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
15	Bottom plate to joist, rim joist, band joist, solid deck or blocking (not at braced wall panels)	1-6d common (3 1/2"x0.162")	16" o.c. face nail
		1-6d box (3 1/2"x0.135") or 3"x0.131" nails	12" o.c. face nail
Roof			
16	Bottom plate to joist, rim joist, band joist, or blocking (at braced wall panels)	3-1-6d box (3 1/2"x0.135") or 2-1-6d common (3 1/2"x0.162") or 4-3"x0.131" nails	16" o.c. face nail
17	Top or bottom plate to stud	4-8d box (2 1/2"x0.131") or 3-1-6d box (3 1/2"x0.135") or 4-8d common (2 1/2"x0.131") or 4-10d box (3"x0.128") or 4-3"x0.131" nails	Toe nail
		3-1-6d box (3 1/2"x0.135") or 2-1-6d common (3 1/2"x0.162") or 3-10d box (3"x0.128") or 3-3"x0.131" nails	End nail
18	Top plates, laps at corners and intersections	3-10d box (3"x0.128") or 2-1-6d common (3 1/2"x0.162") or 3-3"x0.131" nails	Face nail
19	1" brace to each stud and plate	3-8d box (2 1/2"x0.131") or 2-8d common (2 1/2"x0.131") or 2-(3"x0.131") or 2-10d box (3"x0.128")	Face nail
20	1"x6" sheathing to each bearing	3-8d box (2 1/2"x0.131") or 2-8d common (2 1/2"x0.131") or 2-10d box (3"x0.128") or 2 staples, 1" crown, 16 ga., P ₃	Face nail
21	1"x8" and wider sheathing to each bearing	3-8d box (2 1/2"x0.131") or 3-8d common (2 1/2"x0.131") or 3-10d box (3"x0.128") or 3 staples, 1" crown, 16 ga., P ₃	Face nail
		4-8d box (2 1/2"x0.131") or 3-8d common (2 1/2"x0.131") or 3-10d box (3"x0.128") or 4 staples, 1" crown, 16 ga., P ₃	

TABLE 602.3(1) FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NO. & TYPE OF FASTENER ^{a,b,c}	SPACING OF FASTENERS	
			Edges (inches) ^d	Intermediate supports ^{e,f} (inches)
Floor				
22	Joist to sill, top plate or girder	4-8d box (2 1/2"x0.131") or 3-8d common (2 1/2"x0.131") or 3-10d box (3"x0.128") or 3"x0.131" nails	Toe nail	
23	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d box (2 1/2"x0.131")	4" o.c. toe nail	
		8d common (2 1/2"x0.131") or 10d box (3"x0.128") or 3"x0.131" nails	6" o.c. toe nail	
24	1"x6" subfloor or less to each joist	3-8d box (2 1/2"x0.131") or 2-8d common (2 1/2"x0.131") or 3-10d box (3"x0.128") or 2 staples, 1" crown, 16 ga., P ₃	Face nail	
25	2" subfloor to joist or girder	3-1-6d box (3 1/2"x0.135") or 3-1-6d common (3 1/2"x0.162")	Blind and face nail	
26	2" planks (plank and beam - floor and roof)	3-1-6d box (3 1/2"x0.135") or 2-1-6d common (3 1/2"x0.162")	At each bearing, face nail	
27	Band or rim to joist	3-1-6d common (3 1/2"x0.162") or 4-10d box (3"x0.128") or 4-3"x0.131" nails or 4-3"x1/4" ga. staples, 1/16" crown	End nail	
28	Built-up girders and beams, 2 inch lumber layers	2-6d common (4"x0.192")	Nail each layer as follows: 32" o.c. at top and bottom, staggered	
		1-6d box (3"x0.128") or 3-3"x0.131" nails	24" o.c. face nail at top and bottom staggered on opposite sides	
29	Ledger strip supporting joists or rafters	And: 2-2-10d common (4"x0.192") or 3-10d box (3"x0.128") or 3-3"x0.131" nails	Face nail at ends and at each splice	
		4-1-6d box (3 1/2"x0.135") or 3-1-6d common (3 1/2"x0.162") or 4-10d box (3"x0.128") or 3-3"x0.131" nails	At each joist or rafter, face nail	
30	Bridging or blocking to joist, rafter or truss	2-10d (3"x0.128") or 2-8d common (2 1/2"x0.131") or 2-3"x0.131" nails	Each end, toe nail	
Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing; (see Table R602.3(3) for wood structural panel exterior or wall sheathing to wall framing)				
31	3/8" - 1/2"	6d common or deformed (2"x0.13"x0.266" head) or 3 3/8"x0.133"x0.266" head nail (subfloor, wall) ¹	6	6"
		8d common (2"x0.131") nail (roof) or rare-01 (2 3/8"x0.131") nail (roof) ²	6	6"
32	1/32" - 3/4"	8d common (2-2 1/2"x0.131") nail (subfloor, wall)	6	12"
		8d common (2 1/2"x0.131") nail (roof) or RRRS-01 (2 3/8"x0.131") nail (roof) ²	6	6"
33	1/8" - 1 1/4"	Deformed 2 3/8"x0.133"x0.266" head (wall or subfloor)	6	12"
		10d common (3"x0.148") nail or (2 1/2"x0.131"x0.266" head) deformed nail	6	12"
Other wall sheathing³				
34	1/2" structural cellulose fiberboard sheathing	1 1/2"x0.120" galvanized roofing nail, 1/16" head dia., or 1 1/4" long crown staple 16 ga. with 1/16" or 1" crown	3	6"
35	25/32" structural cellulose fiberboard sheathing	1 1/2" galvanized roofing nail, 1/16" head dia., or 1 1/4" long crown staple 16 ga. with 1/16" or 1" crown	3	6"
36	1/2" gypsum sheathing	1 1/2"x0.120" galvanized roofing nail, 1/16" head dia., or 1 1/4" long 16 ga. staple galvanized, 1 1/2" long, 1/16" or 1" crown or P ₃ screws, Type W or S	7	7"
37	5/8" gypsum sheathing	1 1/2"x0.120" galvanized roofing nail, 1/16" head dia., or 1 1/4" long 16 ga. staple galvanized, 1 1/2" long, 1/16" or 1" crown or 1 1/4" screws, Type W or S	7	7"
Wood structural panels, combination subfloor underlayment to framing				
38	3/4" and less	deformed (2"x0.131") or deformed (2"x0.120") nail or 8d common (2 1/2"x0.131") nail	6	12"
39	1/8" - 1"	8d common (2 1/2"x0.131") nail or deformed (2 1/2"x0.131") or deformed (2 1/2"x0.120") nail	6	12"
40	1 1/8" - 1 1/4"	10d common (3"x0.148") nail or deformed (2 1/2"x0.131") or deformed (2 1/2"x0.120") nail	6	12"

FOR 8d: 1 INCH = 25.4 MM, 1 FOOT = 304.8 MM, 1 MPH = 0.447 M/S, 1 KSI = 68.95 MPa

a. NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS ARE CARBON STEEL AND SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 ksi FOR SHANK DIAMETER OF 0.132 INCH (20d COMMON NAILS), 90 ksi FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.171 INCH, AND 100 ksi FOR SHANK DIAMETERS OF 0.142 INCH OR LESS. CONNECTIONS USING NAILS AND STAPLES OF OTHER MATERIALS, SUCH AS STAINLESS STEEL, SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R602.13 OR APPROVED UNDER SECTION R604.

b. RRRS-01 IS A ROOF SHEATHING RING SHANK NAIL MEETING THE SPECIFICATIONS IN ASTM F 166-1

c. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES O.C. AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.

d. 4-FOOT-BY-8-FOOT OR 4-FOOT-BY-9-FOOT PANELS SHALL BE APPLIED VERTICALLY.

e. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON TABLE 602.3(2).

f. FOR WOOD STRUCTURAL PANEL SHEATHING ATTACHED TO GABLE END ROOF FRAMING AND TO INTERMEDIATE SUPPORTS WITHIN 48 INCHES OF ROOF EDGES AND RIDGES, NAILS SHALL BE SPACED AT 4" ON CENTER WHERE THE BASIC DESIGN WIND SPEED, V, IS GREATER THAN 130 MPH IN EXPOSURE B OR GREATER THAN 100 MPH IN EXPOSURE C.

g. GYPSUM SHEATHING SHALL CONFORM TO ASTM C1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C1280 OR GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C208.

h. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING TO ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMING MEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS OF THIS CODE. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.

i. WHERE A RAFTER FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND ONE TOE NAIL FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.

INSULATION SPECIFICATIONS

- ALL EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 & A SMOKE DENSITY RATING OF LESS THAN 450.
- PERIMETER CONC. WALLS TO BE PROTECTED W/ RIGID FIBERBOARD INSULATION FROM TOP OF CONC WALL TO NOT LESS THAN 24" BELOW GRADE.
- SLAB EDGE INSULATION IS TO BE R-15.
- HEATING DUCTS TO BE INSULATED W/ R-8.
- WINDOWS SHALL MEET REQUIRED U FACTORS FOR THE CONTRACTORS CHOSEN PATH OF COMPLIANCE SEE TABLE N104(1)
- ONE EXTERIOR DOOR MAY BE INSULATED TO A U-FACTOR OF 0.20. ALL OTHER EXTERIOR DOORS MAY NOT EXCEED 0.54.

TRUSS NOTE

SUBMIT TRUSS DESIGN FOR ENGINEERING PRIOR TO FABRICATION & VERIFY LOCATION OF GIRDER TRUSSES W/ TRUSS COMPANY PRIOR TO FORMING FOUNDATION WALLS AS TO PROVIDE FOR ADDITIONAL LOADING FROM VARYING TRUSS DESIGN. VERIFY ALL TRUSS SPANS & CONFIGURATIONS ON JOB SITE PRIOR TO FABRICATION.

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SHEET NOTES

DATE: 05/2025

Sec. 205. Common procedures.

- (a) *City manager review.* Upon receipt of an application for a rezoning, future land use map amendment, variance, conditional use permit, planned unit development, or upon notice from two (2) or more mayor and city council members of a proposed text amendment, and within thirty (30) days of receipt of the formal application and all required information, the city manager shall review the application (or proposed text amendment) and prepare a written analysis of the application (or proposed text amendment), which shall be provided to the planning and zoning board as well as the mayor and city council.
- (b) *Planning and zoning board review.*
- (1) All applications for rezoning, future land use map amendment, variance, conditional use permit, planned unit development, and all proposed amendments to the text of the zoning ordinance shall be submitted to the planning and zoning board for review. Such review shall be conducted based upon the standards set forth in the appropriate section of this zoning ordinance, depending on the type(s) of the applications. When a complete application is received, the planning and zoning board shall consider the application at its next regularly scheduled meeting, unless deferred pursuant to this section. ~~Such meeting shall include a public hearing and follow procedures required in Sec. 206 of this article.~~
- (2) The city clerk shall cause notice of the time, place, and purpose of the public ~~meeting~~hearing and a copy of the ~~city manager's~~Planning and Economic Development Director's report on the application to be published on the city's website. ~~at least fifteen (15) days prior to the public hearing.~~
- (3) The applicant shall post a sign or signs provided by the city in a conspicuous place on the property a minimum of fifteen (15) calendar days prior to the public meeting that shall comply with the following requirements:
- i. Be readable from each street on which the property fronts, or if the property has no street frontage, from each street from which access will be gained;
- ii. Clearly indicate the following information
- a. Present zoning classification of the property;
- b. Proposed zoning classification or special use; date and time; and
- c. Location of the public hearing.
- iii. Be maintained by the applicant to prevent removal from the property or destruction.
- ~~(43)~~ Upon motion, the planning and zoning board may defer any application which it deems to be incomplete. The fact that a required community open house meeting has not yet been held shall cause the application to be deemed incomplete and necessitate a deferral. A complete application may be deferred on only one (1) occasion.
- ~~(54)~~ The planning and zoning board shall make a recommendation to the mayor and city council with respect to its findings. The recommendations shall be a part of the permanent record of the application and shall be reported at any meeting of the mayor and city council which considers the application. In addition, the city clerk shall cause the planning and zoning board's recommendation to be posted on the city's website from the time that it is available until a final decision on the application is made by the mayor and city council.
- ~~(65)~~ Failure to act.
- i. Failure by the planning and zoning board to act upon any application shall not cause a delay of process unless such failure is due to incomplete data or information in an application. Should the planning and zoning board fail to act upon any complete

application, it shall pass to the mayor and city council with a notation thereon that the planning and zoning board has reviewed but failed to act upon the application.

- ii. If the planning and zoning board fails to submit a report within thirty (30) days of its first meeting after it has considered an application that is complete in all respects, it shall be deemed to have recommended approval of the proposed amendment. However, the planning and zoning board and the applicant for an amendment may jointly agree to postpone action for a thirty (30) day period.

(76) The mayor and city council shall hear the application at their next meeting which complies with O.C.G.A. § 36-66-1 et seq., as it now exists and may be amended hereafter.

(87) Provisions for application withdrawal shall be as established in Sec. 207.

(c) *Mayor and city council.*

(1) Before the mayor and city council shall approve or deny any rezoning, future land use map amendment, variance, conditional use permit, planned unit development, or text amendment they shall hold a public hearing thereon, to be conducted pursuant to procedures outlined in this zoning ordinance and those provided in O.C.G.A. § 36-66-1 et seq., as it now exists and may be amended hereafter.

(2) Notwithstanding any other provisions of this chapter to the contrary, when a proposed zoning decision relates to an amendment of the zoning ordinance to revise one (1) or more zoning classifications or definitions relating to single-family residential uses of property so as to authorize multifamily uses of property pursuant to such classification or definitions, or to grant blanket permission, under certain or all circumstances, for property owners to deviate from the existing zoning requirements of a single-family residential zoning, or rezoning of property from single-family residential to a category that allows multifamily uses if the rezoning is initiated by the City rather than the property owner, then such zoning decision must be adopted in the following manner:

- i. The zoning decision shall be adopted at two (2) regular meetings of the local government making the zoning decision, during a period of not less than twenty-one (21) days apart.
- ii. Prior to the first meeting provided for in subparagraph (i) of this paragraph, at least two (2) public hearings shall be held on the proposed action. Such public hearings shall be held at least three (3) months and not more than nine (9) months prior to the date of final action on the zoning decision. Furthermore, at least one (1) of the public hearings must be held between the hours of 5:00 P.M. and 8:00 P.M. The hearings required by this paragraph shall be in addition to any hearing required under subsection (i) of this Code section.
- iii. Notice requirements for such hearings are in subsection (d).

(3) Final action.

- i. The mayor and city council shall approve, approve with conditions, or deny the request. Such final zoning action may occur at the time of the public hearing or at the next regularly scheduled mayor and city council meeting.
- ii. The mayor and city council shall not be bound by but shall consider the recommendations of the planning and zoning board in its deliberations on the application.

(4) Provisions for application withdrawal shall be as established in Sec. 207.

(d) *Public notice of public hearings.*

(1) Legal notice. Notice of a hearing pursuant to this ordinance shall be published in the legal organ of the city in which the legal advertisements of the city are published. Where the proposed action includes

any combination of zoning decisions under subparagraphs (C), (E), or (F) of paragraph (4) of O.C.G.A. § 36-66-3 for the same property, the local government shall cause to be published within a newspaper of general circulation within the territorial boundaries of the local government a notice of the hearing at least fifteen (15) but not more than forty-five (45) days prior to the date of the hearing. The notice shall state the time, place, and purpose of the hearing. Notices announcing public hearing for considering an application to rezone property or an application for a special use shall also include the location of the property, and the present and proposed zoning classification or the proposed special use of the property, as appropriate.

- (2) Property posting. The applicant shall post a sign or signs provided by the city in a conspicuous place on the property a minimum of fifteen (15) calendar days prior to a public hearing that shall comply with the following requirements:
- i. Be readable from each street on which the property fronts, or if the property has no street frontage, from each street from which access will be gained;
 - ii. Clearly indicate the following information
 - a. Present zoning classification of the property;
 - b. Proposed zoning classification or special use; date and time; and
 - c. Location of the public hearing.
 - iii. Be maintained by applicant to prevent removal from the property or destruction for the period commencing on the date the public notice appears in the newspaper through the date of the public hearing.
- (3) Written notice to adjacent and nearby property owners. The applicant shall give written notice by certified mail return receipt requested to all property owners within three hundred (300) feet of the boundaries of the property as appears in DeKalb County tax records. The measurement shall be performed from each boundary of the property that is the subject of a zoning petition or special use application. Public notices shall be mailed such that they are received a minimum of fifteen (15) calendar days and a maximum of forty-five (45) calendar days prior to the public hearing. The return receipts shall be provided to the city manager within one (1) week of receipt.
- (4) A quasi-judicial officer, board, or agency shall provide for a hearing on each proposed action. Notice of such hearing shall be provided at least 30 days prior to the quasi-judicial hearing, with such notice being made as provided for in subsection (1) of this Code section and with additional notice being mailed to the owner of the property that is the subject of the proposed action.
- (5) The local government shall give notice of such hearings outlined in subsection (d) by:
- i. Posting notice on each affected premises in the manner prescribed by subsection (b) of this Code section; provided, however, that when more than five hundred (500) parcels are affected, in which case posting notice is required every five hundred (500) feet in the affected area; and
 - ii. Publishing in a newspaper of general circulation within the territorial boundaries of the local government a notice of each hearing at least fifteen (15) days and not more than forty-five (45) days prior to the date of the hearing.
 - iii. Both the posted notice and the published notice shall include a prominent statement that the proposed zoning decision relates to or will authorize multifamily uses or give blanket permission to the property owner to deviate from the zoning requirements of a single-family residential zoning of property in classification previously relating to single-family residential uses. The published notice shall be at least nine (9) column inches in size and shall not be located in the classified advertising section of the newspaper. The notice shall state that a copy of the proposed

amendment is on file in the office of the clerk or the recording officer of the local government and in the office of the clerk of the superior court of the county of the legal situs of the local government for the purpose of examination and inspection by the public. The local government shall furnish anyone, upon written request, a copy of the proposed amendment, at no cost.

- (6) The provisions of paragraph (5) of this section shall also apply to any zoning decisions that provide for the abolition of all single-family residential zoning classifications within the territorial boundaries of a local government or zoning decisions that result in the rezoning of all property zoned for single-family residential uses within the territorial boundaries of a local government to multifamily residential uses of property.
- (7) Posting of property associated with an amendment to the official zoning map initiated by the City of Clarkston shall not be required.
- (8) All hearings of any quasi-judicial officer, board or agency and city council shall be open to the public and shall comply with the Georgia Open Meetings Act.

(Ord. No. 480, § 1, 6-6-23)

Updated Zoning Matters 2025 Meeting Schedule

Application Filing/Submittal Cycle Deadline	PNZ Sign Posting Deadline	PZB Packet Distribution	P&Z Public Hearing/ Meeting (3 rd Tuesday)	Legal Ad Newspaper Deadline (12:00pm)	Legal Ad Run Date	Public Hearing Sign Posted	City Council Public Hearing (Last Tuesday of the month)	City Council Regular Meeting/Vote (1 st Tuesday of the month)
September 23, 2025	10/6/2025	10/14/2025	October 21, 2025	10/30/2025	11/6/2025	11/10/2025	November 25, 2025	December 2, 2025
October 21, 2025	11/3/2025	11/11/2025	November 18, 2025	12/4/2025	12/11/2025	12/15/2025	December 30, 2025	January 6, 2026
November 18, 2025	12/1/2025	12/9/2025	December 16, 2025	12/29/2025*	1/8/2026	1/12/2026	January 27, 2026	February 3, 2026
December 23, 2025	1/5/2025	1/13/2026	January 20, 2026	1/29/2026	2/5/2026	2/9/2026	February 24, 2026	March 2, 2026

NOTES:

If application submittal deadlines fall on a weekend, the application shall be submitted on the business day prior to the weekend.

* Denotes a change due to a city holiday or event.

** No application agenda items may be added to packets or agendas without a review for completeness by the Planning and Economic Development Department.

Applicants may present additional material at the public hearing (3rd Tuesday of month), but any revised site plan must be reviewed and added to following month's agenda.

***Meeting dates subject to change due, please see the City's Event Calendar on the website at www.clarkstonga.gov for the latest information.

STAFF ANALYSIS AND REPORT

To: City of Clarkston Planning & Zoning Board

From: Richard Edwards, AICP

Date: September 23, 2025

Subject:

Proposed Text Amendments to the City of Clarkston Code of Ordinances, Chapter 16 – Streets, Sidewalks and Other Public Ways to add Sec. 16-16 to incorporate a fee in lieu of sidewalk construction program.

Background:

The City of Clarkston has received multiple variance requests from developers seeking relief from the requirement to install sidewalks along streets where no sidewalks currently exist and where none are planned for future construction. In many of these cases, requiring a sidewalk along a single parcel results in a disconnected segment that offers little to no functional pedestrian benefit. This piecemeal approach is not consistent with sound planning principles and can create long-term maintenance and infrastructure inefficiencies for the city.

To address this issue, the city is proposing to establish a "Fee in Lieu of Sidewalk Construction" program, which provides an alternative pathway for meeting sidewalk requirements. Under this program, applicants may request to satisfy sidewalk obligations by paying a fee instead of constructing sidewalks in locations where installation is impractical, cost-prohibitive, or misaligned with broader city infrastructure plans. The collected fees will be dedicated exclusively to funding new sidewalks or pedestrian facilities in areas where they are more contextually appropriate and beneficial. This approach allows the city to strategically prioritize sidewalk investments while maintaining flexibility for unique site conditions.

Analysis:

This proposed text amendment would establish a formal "Fee in Lieu of Sidewalk Construction" program in the City of Clarkston. It allows developers who are otherwise required to build sidewalks as part of their projects to instead request to pay a fee, subject to approval by the City Engineer. This alternative is intended for cases where physical sidewalk construction is impractical or unreasonable due to specific site conditions or infrastructure plans.

The City Engineer uses a defined set of criteria to evaluate such requests. These include situations where there are no existing or planned sidewalks on the same block, where public infrastructure such as stormwater ditches obstruct construction, where topography would require excessive grading or retaining walls, or where upcoming infrastructure projects would necessitate removal of newly installed sidewalks. Additionally, the Engineer may consider other unique circumstances that would make sidewalk installation inconsistent with city policies.

If a fee in lieu is approved, it is calculated based on the average of two contractor estimates submitted by the applicant, though the City Engineer has the authority to reject unsubstantiated estimates. Payment must be made before a building permit is issued, and the funds collected can only be used for new sidewalks or pedestrian infrastructure elsewhere in the city. Importantly, approval of a fee in lieu does not exempt the property from future sidewalk requirements if redevelopment or changes in use occur.

Applicants who are denied the option to pay a fee in lieu may appeal the decision to the City Council within seven days. The appeal must be filed with the Planning and Economic Development Director, and any further appeals must follow the procedures outlined in Section 220 of the city code.

Recommendation:

Staff recommends **APPROVAL** of the proposed text to add Sec. 16-16 to establish a fee in lieu of sidewalk construction program.

ARTICLE I. IN GENERAL

Sec. 16-15. Same—Affidavit of illegality.

Any property owner shall have the right to file an affidavit of illegality to any execution issued under the provisions of section 16-13 returnable to the superior court of the county, as provided by the charter of the city to be done in the case of executions issued for street improvements of the city.

(Code 1968, § 20-25)

Secs. 16-16. Fee in Lieu of Sidewalk Construction Program

- (a) Any development project subject to sidewalk installation requirements pursuant to the City of Clarkston Code of Ordinances may request to satisfy such requirements through the payment of a fee in lieu of physical sidewalk construction. All such requests shall be submitted to, reviewed by, and subject to the approval of the City Engineer.
- (b) The following list of criteria shall be used by the City Engineer for the purpose of evaluating a fee in lieu of construction request:
- (1) There are no existing sidewalks along the block face on the same side of the roadway, and no sidewalk improvements are planned or scheduled for the subject roadway segment.
 - (2) A stormwater drainage ditch or similar public utility facility prevents the installation of the sidewalk, and neither the sidewalk nor the facility can be reasonably relocated to accommodate both the sidewalk and the facility.
 - (3) The topography would require construction of a retaining wall more than four (4) feet in height to accommodate the sidewalk.
 - (4) There is a planned roadway or infrastructure improvement scheduled to be implemented within the next five (5) years which would require the removal or relocation of the required sidewalk.
 - (5) Other unique or exceptional circumstances exist which render the requirement for sidewalk installation unreasonable, impractical, or inconsistent with the intent of the City of Clarkston Code of Ordinances.
- (c) The fee in lieu shall be calculated based on the average of two (2) independent cost estimates obtained from qualified contractors, as submitted by the applicant. The City Engineer shall have the authority to reject any submitted estimate deemed to be inaccurate, unsubstantiated, or otherwise unreasonable.
- (d) All approved fees in lieu of sidewalk construction shall be paid in full prior to the issuance of any building permit associated with the proposed development.
- (e) Nothing in this policy shall be construed to grant exemption from sidewalk installation requirements for any future building expansions, parking lot expansions, redevelopment, or changes in use that would otherwise trigger sidewalk installation pursuant to the standards set forth in the City of Clarkston Code of Ordinances.
- (f) The funds collected from the fee in lieu of sidewalk construction shall only be used to install new sidewalks or new pedestrian facilities.

(g) Any applicant aggrieved by a decision of the City Engineer denying a request to pay a fee in lieu of sidewalk construction may file an appeal to the City Council within seven (7) calendar days of the date of the denial notice. A formal appeal application shall be submitted to the Planning and Economic Development Director, who shall place the appeal on the next City Council agenda.

(h) Appeals from a final decision on a fee in lieu of sidewalk construction by an aggrieved party shall follow the appeals procedures of Sec. 220.

Secs. 16-17—16-20. Reserved.